

**Abbreviations**

- ADJ adjustable
- AFF above finish floor
- APPROX approximate
- ASL above sea level
- ASSY assembly
- AVG average
- BF building felt
- BIB blown in blanket
- BLDG building
- BMP best management practice
- BTM bottom
- BTWN between
- ccSPF closed-cell spray polyurethane foam
- CFM cubic feet per minute
- CL centerline
- CLG ceiling
- CLR clear
- CLOS closet
- CO combination smoke/carbon monoxide alarm
- CONC concrete
- CONT continuous
- D dryer
- DBL double
- DHW domestic hot water
- DN down
- DS downspout
- DTL detail
- DW dishwasher
- (E) existing
- EA each
- EPG existing & finished grade
- EL elevation
- ELEC electric, electrical
- EPS expanded polystyrene
- E/W each way
- EXP expansion
- EXIST existing
- EXT exterior
- FB flush beam
- FDN foundation
- FF finish floor
- FIN finished
- FO face of...
- FOIC furnished by owner, installed by contractor
- FTG footing
- GLB glue laminated beam
- GWB gypsum wall board
- HB hose bib
- HDR header
- HORZ horizontal
- HT height
- HVAC heating, ventilation, air conditioning
- HW hot water
- INSUL insulation
- INT interior
- LOCN location(s)
- LVL laminated strand lumber
- LVL laminated veneer lumber
- MANUF manufacturer
- MAX maximum
- MECH mechanical
- MFR manufacturer
- MIN minimum
- MW microwave
- (N) new
- NCP no changes proposed
- NIC not in contract
- O/ over, on
- O/C on center
- OH overhang
- OP opening
- PERF perforated
- PIP poured in place
- PL property line
- POLY plywood
- POLYISO polyisocyanurate
- PSL parallel strand lumber
- PT pressure treated
- PTD painted
- R riser
- REF refrigerator
- REINF reinforced
- REQD required
- RO rough opening
- R-O-W right of way
- SF square foot
- SH shelf/shelves
- SHTG sheathing
- SM smoke alarm
- SOG slab on grade
- SPEC(S) specifications
- SQ square
- STRUCT structural
- SUBFLR subfloor
- TBD to be determined
- TEMP temporary
- ToC top of concrete
- ToP top of (wall) plate
- ToR top of roof
- TPO thermoplastic polyolefin (membrane)
- TR tread
- TYP typical
- UNO unless noted otherwise
- VIF verify in field
- W washer
- W/ with
- WD wood
- WH water heater
- WRB weather-resistive barrier
- XPS extruded polystyrene

Permit#	Address or Lot & Block
5331 Forest Ave SE	
City	Mercer Island
Zip	98040

These requirements apply to all the IRC building types, including detached one- and two-family dwellings and multiple single-family dwellings (townhouses).

Instructions: This single-family project uses the requirements of the Prescriptive Path below to incorporate the minimum values listed. Based on the conditioned floor area of the structure, the number of required additional credits must be selected by the permit applicant.

Provide all information from the following tables in building permit drawings: Table R402.1.2 - Insulation and Fenestration Requirements by Component, Table R406.2 - Fuel Normalization Credits and R406.3 Energy Credits.

Authorized Representative Signature: *[Signature]* Date: 2/17/2025

	All Climate Zones Table 402.1.3	and Table R402.1.2
Fenestration U-Factor <sup>a,1</sup>	n/a	-0.30 - see option 1.2 below
Skylight U-Factor <sup>a</sup>	n/a	0.50
Ceiling <sup>a</sup>	60	0.024
Above-Grade Wall U-Factor <sup>a,2</sup>	20+5 or 13+10	0.056
Floor U-Factor	30	-0.029 - see option 1.2 below
Below-Grade Wall U-Factor <sup>a,3</sup>	10/15/21 int + 5/10	-0.039 - see option 1.2 below
Slab <sup>4</sup> On Grade R-Factor	10/7	0.54 - see option 1.2 below

<sup>a</sup> R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the compressed R-value of the insulation from Appendix Table A101.4 shall not be less than the R-value specified in the table.

<sup>b</sup> The fenestration U-factor column excludes skylights.

<sup>c</sup> "10/15/21+5/10" means R-10 continuous insulation on the exterior of the wall, or R-15 continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at the interior of the basement wall. "10/15/21+5/10" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "5/10" means R-5 thermal break between floor slab and basement wall.

<sup>d</sup> R-10 continuous insulation is required under heated slab on grade floors. See Section R402.2.9.1.

<sup>e</sup> For single rafter- or joist-rafter ceilings, the insulation may be reduced to R-38 if the full insulation depth extends over the top plate of the exterior wall.

<sup>f</sup> R-7.5 continuous insulation installed over an existing slab is deemed to be equivalent to the required perimeter slab insulation when applied to existing slabs complying with Section R403.1.1. If foam plastic is used, it shall meet the requirements for thermal barriers protecting foam plastics.

<sup>g</sup> For log structures developed in compliance with Standard ICC 400, log walls shall meet the requirements for climate zone 5 of ICC 400.

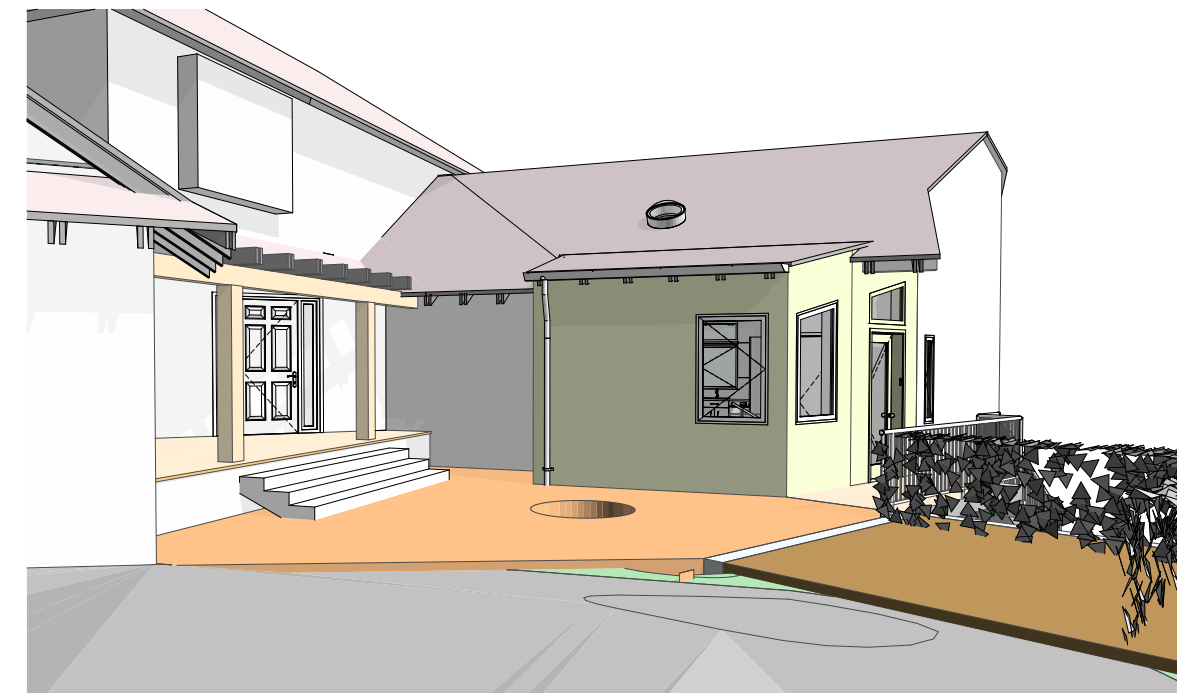
<sup>h</sup> Int. (intermediate framing) denotes framing and insulation as described in Section A103.2.2 including standard framing 16 inches on center, 78 percent of the wall cavity insulated with headers insulated with a minimum of R-10 insulation.

<sup>i</sup> The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "R13+10" means R-13 cavity insulation plus R-10 continuous insulation.

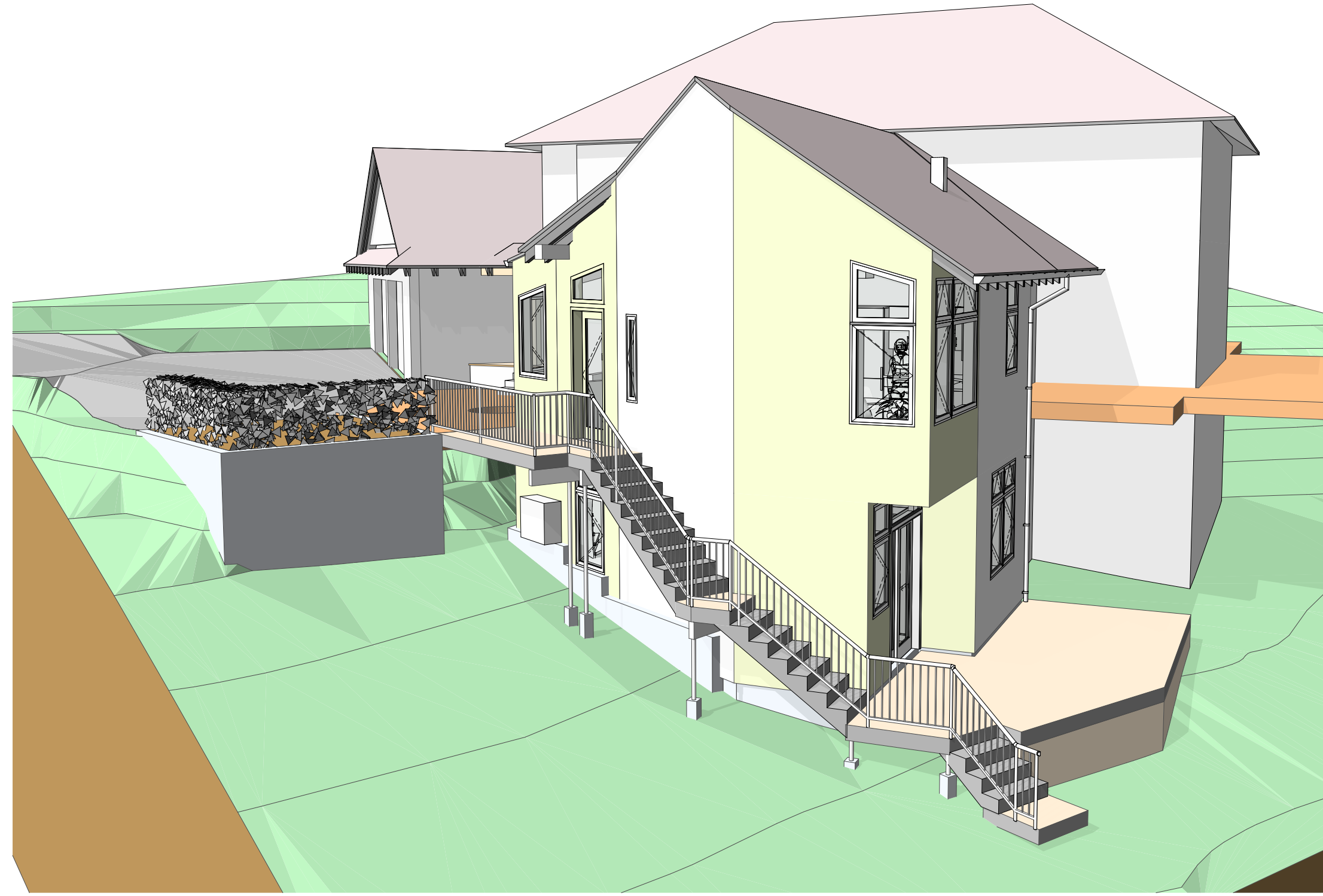
<sup>j</sup> A maximum U-factor of 0.32 shall apply to vertical fenestration products installed in buildings located above 4000 feet in elevation above sea level, or in windborne debris regions where protection of openings is required under Section R301.2.1.2 of the International Residential Code.



Interior View, Day Room



View from Drive



View from Northwest

Each dwelling unit in a residential building shall comply with sufficient options from Table R406.2 (Energy Equalization credits) and Table 406.3 (energy credits) to achieve the minimum number of credits from the list below. To claim credits, the building permit drawings shall specify the option selected and the maximum tested building air leakage, and show the qualifying ventilation system and its control sequence of operation.

- Small Dwelling Unit: 5.0 credits  
Dwelling units less than 1500 square feet in conditioned floor area with less than 300 square feet of fenestration area. Additions to existing building greater than 500 square feet of heated floor area but less than 1500 square feet.
- Medium Dwelling Unit: 8.0 credits  
All dwelling units that are not included in #1, #3 or #4.
- Large Dwelling Unit: 9.0 credits  
Dwelling units exceeding 5000 square feet of conditioned floor area.
- Dwelling units serving Group R-2 occupancies: 6.5 credits  
Section R401.1 and Residential Building Section R202 for Group R-2.
- Additions 150 square feet to 500 square feet: 2.0 credits

The drawings included with the building permit application shall identify which options have been selected and the point value of each option, regardless of whether separate mechanical, plumbing, electrical, or other permits are utilized for the project

Before selecting your credits on this Summary table, review the option descriptions in Table R406.3 (Single Family).

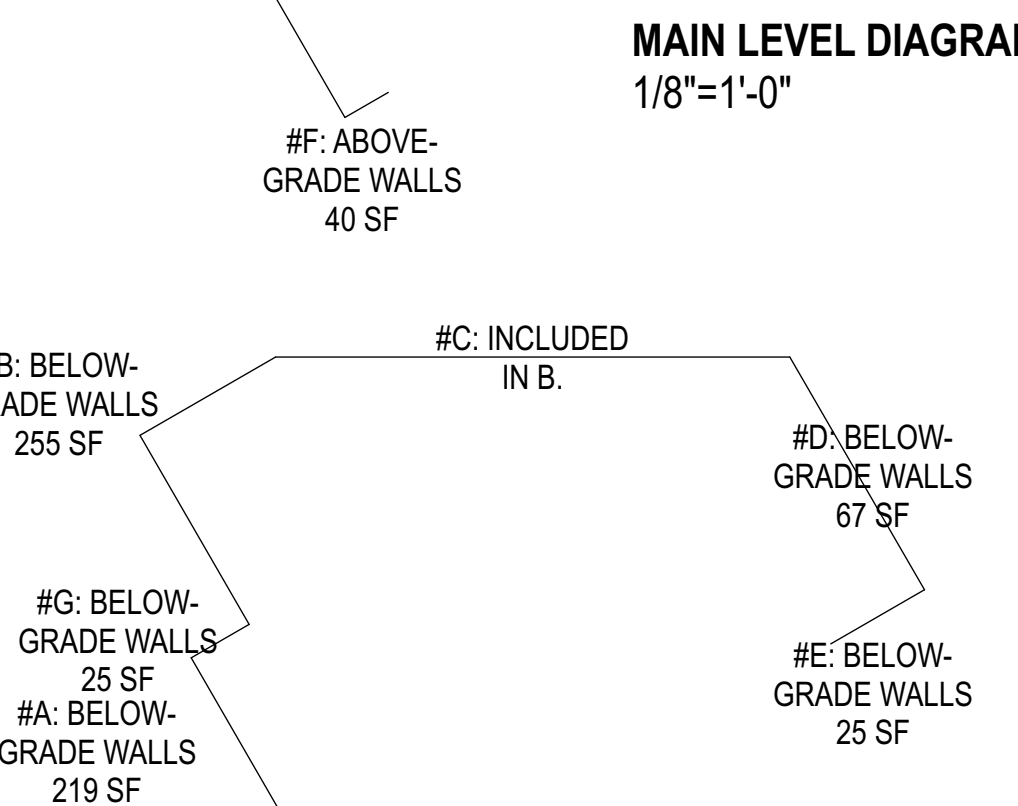
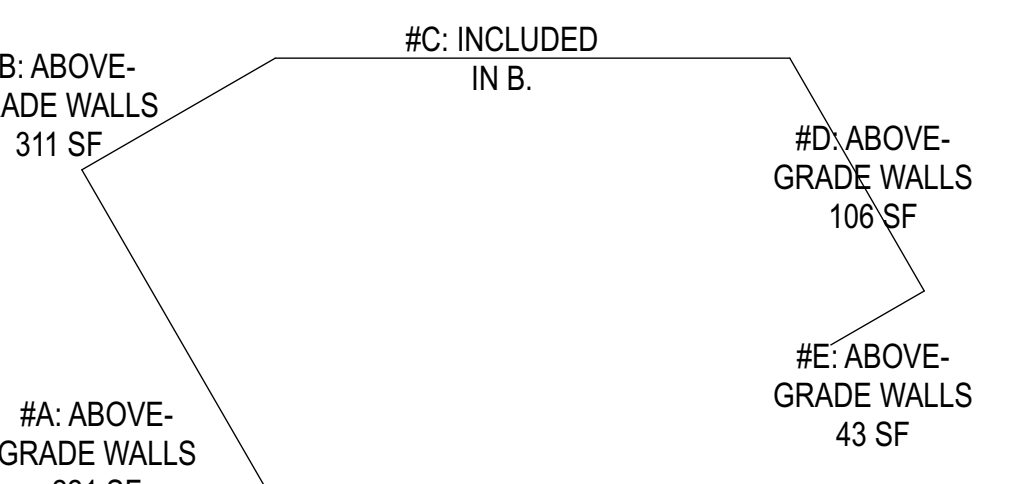
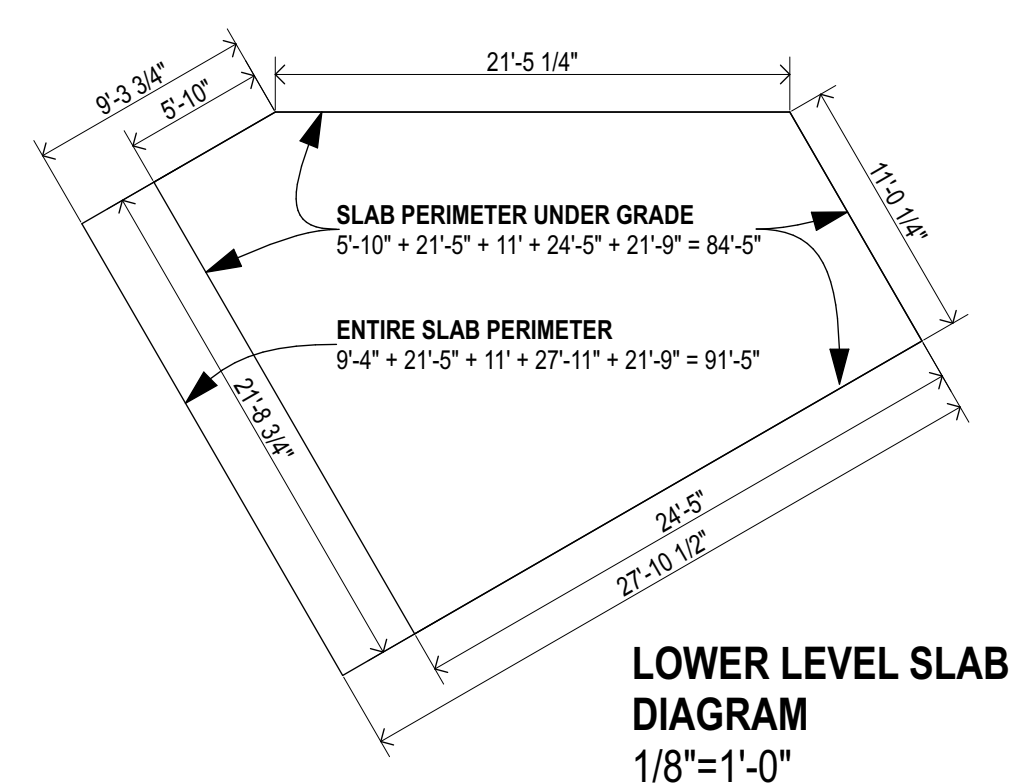
System Type	Description of Primary Heating Source	Credits - select ONE system type
1	For combustion heating equipment meeting minimum federal efficiency standards for the equipment listed in Table C403.3.2(5) or C403.3.2(6)	0
2	For an initial heating system using a heat pump that meets federal standards for the equipment listed in Table C403.3.2(2) and supplemental heating provided by electric resistance or a combustion furnace meeting minimum standards listed in Table C403.3.2(5)(b) found in the 2021 WSEC-COMMERCIAL ENERGY CODE	1.5
3	For heating system based on electric resistance only (either forced air or Zonal)	0.5
4	Table C403.3.2(2) or C403.3.2(9) or Air to water heat pump units that are configured to provide both heating and cooling and are rated in accordance with AHRI 550/590 For heating system based on electric resistance with: 1. Inverter-driven ductless mini-split heat pump system installed in the largest zone in the dwelling, or 2. With 2kW or less total installed heating capacity per dwelling	3.0
5	See Section R401.1 and residential building in Section R202 for Group R-2 occupancies. b. The gas back-up furnace will operate as an fan-only when the heat pump is operating. The heat pump shall operate at all temperatures above 38°F (3.3°C) (or lower). Below that "changeover" temperature, the heat pump would not operate to provide space heating. The gas furnace provides heating below 38°F (3.3°C) (or lower). c. Additional points for the HVAC system are included in Table R406.3.	2.0

a. See Section R401.1 and residential building in Section R202 for Group R-2 occupancies.  
b. The gas back-up furnace will operate as an fan-only when the heat pump is operating. The heat pump shall operate at all temperatures above 38°F (3.3°C) (or lower). Below that "changeover" temperature, the heat pump would not operate to provide space heating. The gas furnace provides heating below 38°F (3.3°C) (or lower).  
c. Additional points for the HVAC system are included in Table R406.3.

Options	Energy Credit Option Descriptions	Credits - limited to one energy option from each category <sup>a</sup>	Comments:
1.1	Efficient Building Envelope	0.5	
1.2	Efficient Building Envelope	1.0	
1.3	Efficient Building Envelope	1.5	fenestration U-0.25, floor R-38,
1.4	Efficient Building Envelope	2.5	bsmt wall R-21int + R-5cont, ceiling R-60, slab R-10 perimeter & under entire slab
2.1	Air Leakage Control and Efficient Ventilation	1.0	
2.2	Air Leakage Control and Efficient Ventilation	1.5	
2.3	Air Leakage Control and Efficient Ventilation	2.0	
3.1 <sup>b</sup>	High Efficiency HVAC	1.0	
3.2 <sup>b</sup>	High Efficiency HVAC	0.5	
3.3 <sup>a,c,d</sup>	High Efficiency HVAC	0.5	
3.4 <sup>a,d</sup>	High Efficiency HVAC	1.5	
3.5 <sup>e</sup>	High Efficiency HVAC	1.5	
3.6 <sup>e</sup>	High Efficiency HVAC	1.0	
3.7 <sup>a,d,e</sup>	High Efficiency HVAC	2.0	
3.8 <sup>a,d</sup>	High Efficiency HVAC	1.0	
3.9	High Efficiency HVAC	1.5	
3.10 <sup>f</sup>	High Efficiency HVAC	2.5	
3.11 <sup>f</sup>	High Efficiency HVAC	0.5	
4.1	High Efficiency HVAC Distribution System	0.5	
5.1	Efficient Water Heating	0.5	
5.2	Efficient Water Heating	0.5	
5.3	Efficient Water Heating	0.5	
5.4	Efficient Water Heating	1.0	Energy Star-rated gas WH, UEF = 0.91 min
5.5	Efficient Water Heating	1.5	
5.6	Efficient Water Heating	2.0	
5.7	Efficient Water Heating	2.5	
5.8	Efficient Water Heating	2.5	
6.1	Renewable Electric Energy (4.5 credits max)	0.5-4.5	
7.1	Appliance Package	0.5	

Total Credits [ 5.0 ] [Calculate Total](#)

a. An alternative heating source sized at a maximum of 0.5 Watts/ft<sup>2</sup> (equivalent of heated floor area or 500 Watts, whichever is bigger), may be installed in the dwelling unit.  
b. See Section R401.1 and residential building in Section R202 for Group R-2 occupancies.  
c. Option 3.11 can only be taken with Options 3.1 and 3.3. To qualify to claim Option 3.11 with 3.3, the system shall be a 1-2 speed heat pump system. Variable capacity heat pumps are ineligible from claiming this option.  
d. This option may only be claimed if serving System Type 4 from Table R406.2.  
e. Primary living areas include living, dining, kitchen, family rooms, and similar areas.  
f. Option 3.10 may only be taken with Efficient Water Heating Options 5.1 or 5.2. Equipment sizing for space heating shall be calculated as provided in Section R401.7 with increased capacity to provide a minimum of 75 percent of peak hot water demand or shall be sized in accordance with approved manufacturer's specifications or guidance. Supplementary heat for water heating system shall be in accordance with Section R403.5.7.



WALL SURFACE CALCS	ABOVE	BELOW
#A:	221	219
#B & C:	311	255
#D:	106	67
#E:	43	25
#F:	20	20
#G:	0	25
TOTAL	701 SF	TOTAL 611 SF

Simple Heating System Size: Washington State  
This tool is for the permitting purposes only. A Manual J calculation is required to meet the requirements of the Washington State Energy Code.

Project Information: 5331 Forest Ave SE, Mercer Island WA 98040

Heating System Type:  Air-Source Heat Pump  Furnace

Design Temperature: 25  
Design Temperature Difference (ΔT): 45

Area of Building: 295  
Conditioned Floor Area (sq ft): 295  
Average Ceiling Height (ft): 8  
Conditioned Volume: 2360

U-Factor X Area: 67.05  
Air Leakage X Area: 2.00  
Insulation R-Value: 11.86  
Single Rafter or Joist Vaulted Ceilings: 11.86  
Above Grade Walls: 31.55  
Floors: 6.65  
Below Grade Walls and Slabs: 24.44  
Wall & Slab: 229.60  
Slab on Grade (see Item 1): 147.60  
Location of Ducts: 1.00  
Duct Leakage Coefficient: 1.00

Sum of UA: 514.74  
Envelope Heat Loss: 23,163 Btu / Hour  
Air Leakage Heat Loss: 4,263 Btu / Hour  
Building Design Heat Loss: 27,426 Btu / Hour  
Building and Duct Heat Loss: 27,426 Btu / Hour  
Duct in unconditioned space (see item 1) Heat Loss: 147.60 Btu / Hour  
Maximum Heat Equipment Output: 34,282 Btu / Hour  
(Building and Duct Heat Loss + 125% for heat pump)

PROJECT TEAM

Architect:  
David J DiMarco  
DiMarco Architecture + Design  
7541 Seward Park Ave S  
Seattle, WA 98118-4246  
206.355.6795  
architect@icloud.com

Structural Engineer:  
Bryce Dacus, PE  
Quantum Consulting Engineers LLC  
1511 Third Ave, Suite 323  
Seattle, WA 98101  
206.957.3911  
bdacus@quantumce.com

Civil Engineer:  
AFCET Hansen  
9706 - 4<sup>th</sup> Avenue NE, Suite 300  
206.523.0024 ext. 120  
ahansen@facetnw.com

Geotechnical Engineer:  
Matt McGinnis  
Geotech Consultants, Inc.  
2401 - 10<sup>th</sup> Avenue E  
Seattle, WA 98102  
425-747-5618  
mattm@geotechnw.com

SYMBOLS LEGEND

- centerline
- joist span direction
- section marker
- revision
- door marker
- window marker
- skylight marker
- carbon monoxide alarm
- smoke alarm
- exhaust fan
- elevation dimension point

**PROPERTY DATA**

Project Description:  
Add a two-story accessory dwelling unit to an existing home.  
Remodel entry to existing home.

Address:  
5331 Forest Ave SE  
Mercer Island, WA 98040

Parcel Number:  
2948900013

Legal Description:  
LOT B OF MERCER ISLAND SHORT PLAT NO. MI-79-03-09, RECORDED UNDER RECORDING NO. 7911260615, BEING A SUBDIVISION OF LOTS 4 THROUGH 8 AND 23 THROUGH 27, BLOCK 2, AND PORTION OF VACATED BORDER STREET AND OF VACATED ANDERSON STREET, GROVELAND PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 36, IN KING COUNTY, WASHINGTON; SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

Zoning: R-15 Residential  
Construction Type: Type V non-rated

**SHEET INDEX**

Mercer Island Coversheets	SF1	—
	SF2	—

**Architectural Notes & Site Plan, Survey**

A0.0	Coversheet
A0.1	Site Survey
A0.2	Site Plan
A0.3	General Notes

**Architectural Plans**

A1.0	Main Floor Plan
A1.1	Lower Level Plan
A1.2	Foundation Plan, Roof Plan

**Architectural Elevations**

A2.0	Exterior Elevations
A2.1	Exterior Elevations

**Architectural Sections**

A3.0	Building & Wall Sections
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**Architectural Schedules**

A4.0	Window/Door/Skylight Schedules
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**Architectural 3D Views**

A5.0	3D Views
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**Structural Notes**

S1.0	General Structural Notes
S1.1	General Structural Notes

**Structural Plans**

S2.0	Foundation/Lower Level Framing
S2.1	Main Level Framing
S2.2	Roof Framing

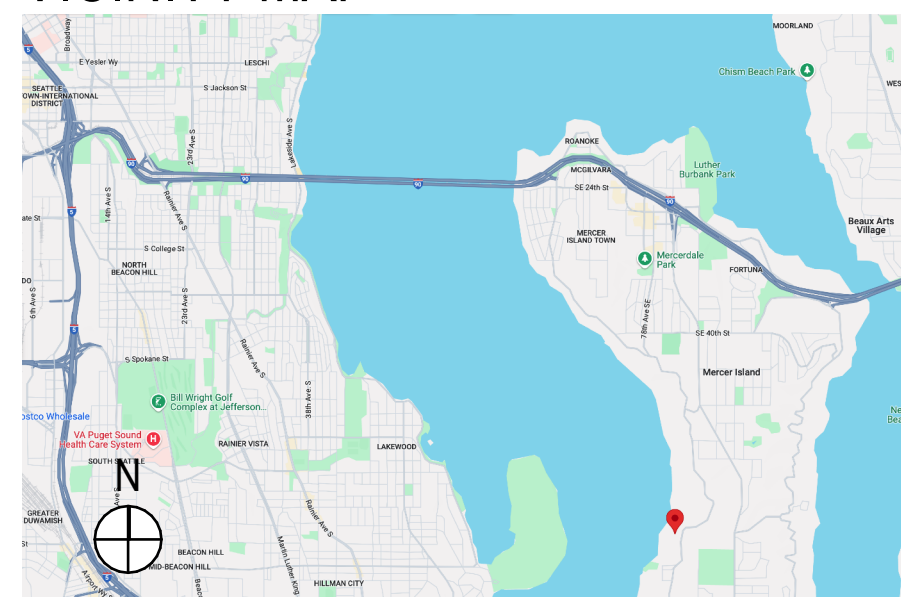
**Structural Details**

S3.0	Foundation/Slab Details
S3.1	Concrete Details
S4.0	Wood Details
S4.2	Floor Details
S4.3	Roof Details

**Civil Engineering**

C01	Cover Sheet
C02	TESC
C03	Drainage Plan
C04	Details

**VICINITY MAP**



DiMarco Architecture + Design  
7541 Seward Park Ave S  
Seattle WA 98118-4246 USA

Lin Kicska  
Residence

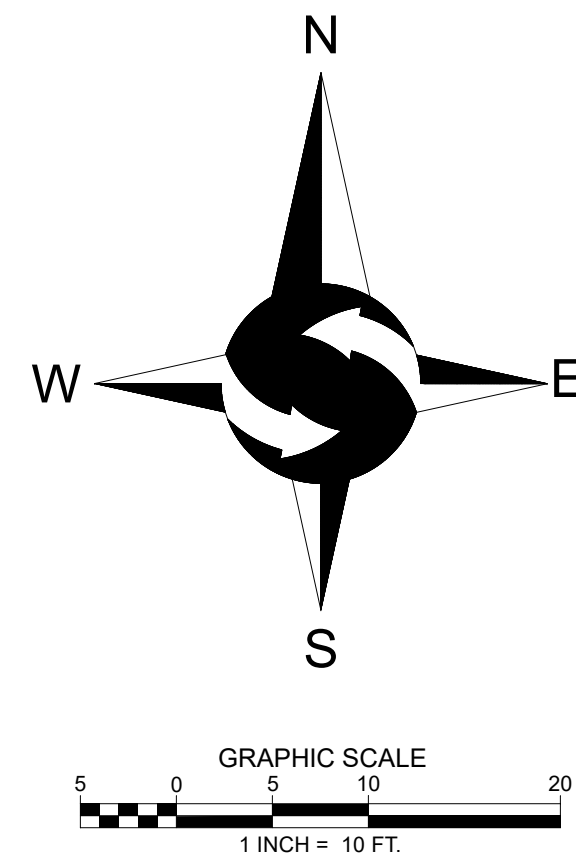
5331 Forest Ave SE  
Mercer Island, WA 98040

ISSUES:

NAME	DATE	ID
permit submittal	5/6/25	00

Coversheet

A0.0



**LEGEND**

- FOUND REBAR AS DESCRIBED
- SET 5/8" X 24" IRON ROD WITH YELLOW PLASTIC CAP
- ⊠ POWER METER
- ⊞ GAS METER
- ⊞ HVAC UNIT
- ⊞ UTILITY POLE
- ⊞ CATCH BASIN
- ⊞ YARD DRAIN
- ⊞ WATER METER
- ⊞ YARD LIGHT
- WROUGHT IRON FENCE
- WOOD FENCE
- CONCRETE WALL
- ⊞ ROCKERY
- ⊞ ASPHALT SURFACE
- ⊞ CONCRETE SURFACE
- ⊞ GRAVEL SURFACE
- ⊞ FLAGSTONE SURFACE
- CE CEDAR
- DS DECIDUOUS
- \* INDICATES MULTI-TRUNK

**LEGAL DESCRIPTION**

LOT B OF MERCER ISLAND SHORT PLAT NO. M1-79-03-09, RECORDED UNDER RECORDING NO. 791260815, BEING A SUBDIVISION OF LOTS 4 THROUGH 8 AND 23 THROUGH 27, BLOCK 2, AND PORTION OF VACATED BORDER STREET AND OF VACATED ANDERSON STREET, GROVELAND PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 36, IN KING COUNTY, WASHINGTON.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**BASIS OF BEARINGS**

RECORD OF SURVEY BY T.J.C. LAND SURVEYING, RECORDED UNDER RECORDING NO. 20170630900011, RECORDS OF KING COUNTY, WASHINGTON.

**PROJECT INFORMATION**

PROPERTY OWNER: GREGORY KICSKA & KATHLEEN LIN  
5237 FOREST AVENUE SE  
MERCER ISLAND, WA 98040

TAX PARCEL NUMBER: 294890-0013

PROJECT ADDRESS: 5331 FOREST AVENUE SE  
MERCER ISLAND, WA 98040

ZONING: R-15

JURISDICTION: CITY OF MERCER ISLAND

PARCEL ACREAGE: 15,070 S.F. (0.346 ACRES) AS SURVEYED

**GENERAL NOTES**

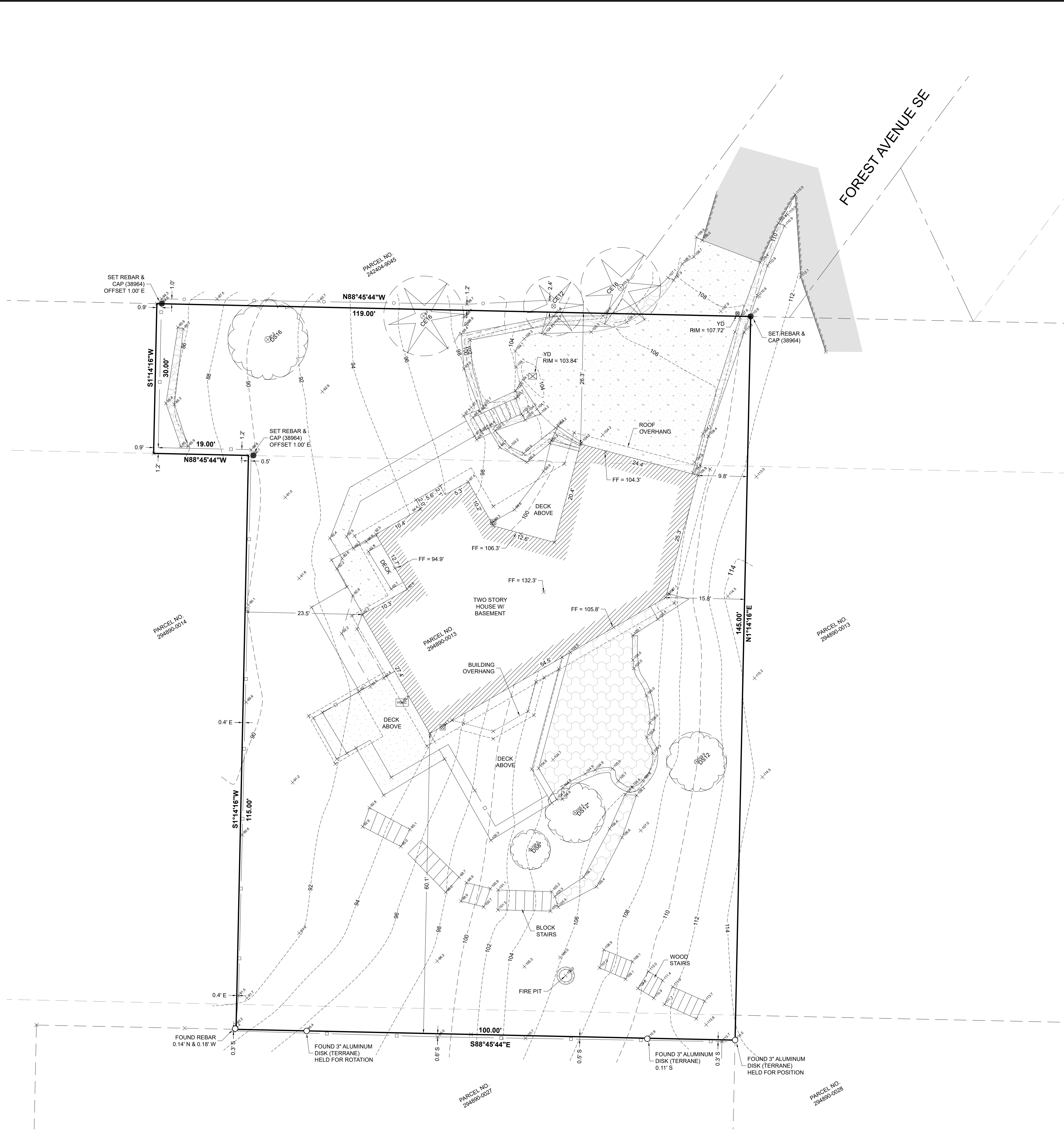
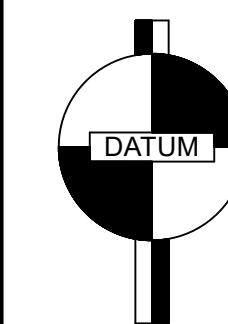
1. THIS SURVEY WAS COMPLETED WITHOUT BENEFIT OF A CURRENT TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
2. INSTRUMENTATION FOR THIS SURVEY WAS A 3-SECOND SPECTRAPRECISION FOCUS 35 TOTAL STATION AND AN EMLID REACH RS2 GPS RECEIVER. PROCEDURES USED IN THIS SURVEY MEET OR EXCEED STANDARDS SET BY WAC 332-130-090.
3. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN SEPTEMBER 2024 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
4. UTILITIES SHOWN ON THIS SURVEY ARE BASED UPON ABOVE GROUND OBSERVATIONS AND AS-BUILT PLANS WHERE AVAILABLE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THIS SITE.
5. ALL MONUMENTS WERE LOCATED DURING THIS SURVEY UNLESS OTHERWISE NOTED.

**VERTICAL DATUM & CONTOUR INTERVAL**

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED FROM GPS OBSERVATION USING THE WSRN.

DATUM - NAVD 88

2' 0" CONTOUR INTERVAL - THE EXPECTED VERTICAL ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR PLUS / MINUS 1.0' FOR THIS PROJECT.



SE 1/4, NE 1/4, SEC 24, TWP 24N, RNG 4E, W.M.



**TOPOGRAPHIC SURVEY**

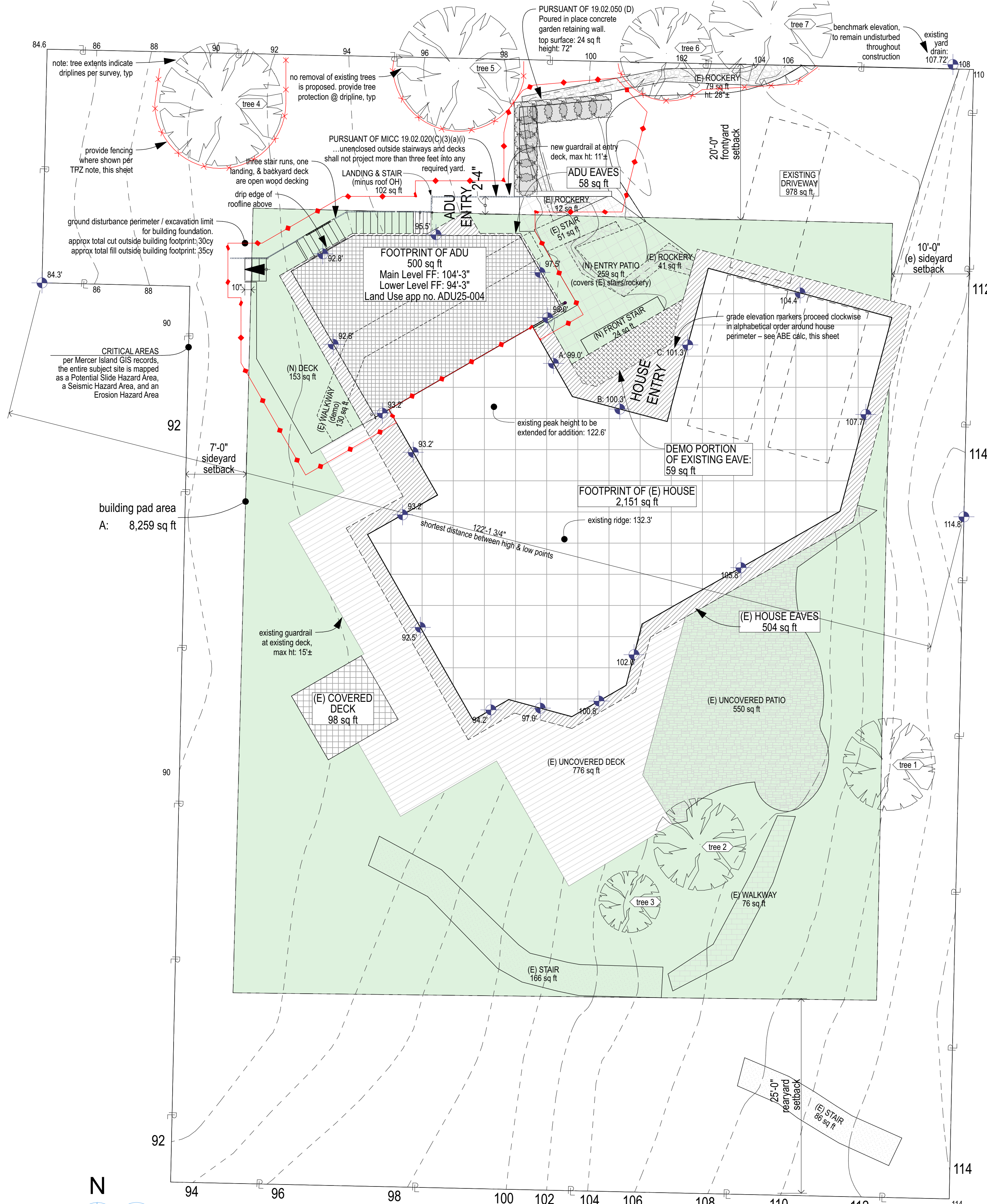
KAT LIN  
5331 FOREST AVENUE SE  
MERCER ISLAND, WA 98040

PROJECT NO. 24-494

DRAWN BY: MTS  
CHECKED BY: TNW  
DATE: 9/5/2024

SHEET 1 OF 1

DATE	REVISION	DRN



**Architectural Site Plan**  
 SCALE: 1/8" = 1'-0"  
 1  
 A0.2

**Property Data**

**Project Description:**  
 Add a two-story accessory dwelling unit to an existing home. Remodel entry to existing home.

**Address:**  
 5331 Forest Ave SE  
 Mercer Island, WA 98040

**Owners:**  
 Kat Lin & Greg Kicska  
 5257 Forest Ave SE  
 Mercer Island, WA 98040

**Parcel Number:**  
 2948900013

**Legal Description:**  
 LOT B OF MERCER ISLAND SHORT PLAT NO. MI-79-03-09, RECORDED UNDER RECORDING NO. 7911260615, BEING A SUBDIVISION OF LOTS 4 THROUGH 8 AND 23 THROUGH 27, BLOCK 2, AND PORTION OF VACATED BORDER STREET AND OF VACATED ANDERSON STREET, GROVELAND PARK, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8 OF PLATS, PAGE 36, IN KING COUNTY, WASHINGTON; SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

**Occupancy Type:** R-3 Residential  
**Construction Type:** V, non-rated

**Lot Zoning:** R-15  
**Lot Size:** 15,070sf (0.346 acres)  
**Existing Footprint:** 2,151sf  
**Proposed ADU Addition Footprint:** 500sf  
**Existing Floor Area:** 3,689sf (plus 496sf attached garage)  
**Proposed ADU Addition Floor Area:** 874sf

**Critical Areas:** Per Mercer Island GIS records, the entire subject site is mapped as a Potential Slide Hazard Area, a Seismic Hazard Area, and an Erosion Hazard Area

**Related Records:** ADU25-004

**Tree Inventory**

ID	DBH	Status	Type	Exceptional?	Health
tree 1	12"	retained	deciduous	no	good
tree 2	12"	retained	deciduous	no	fair
tree 3	8"	retained	deciduous	no	good
tree 4	16"	retained	deciduous	no	good
tree 5	16"	retained	cedar	no	good
tree 6	12"	retained	cedar	no	good
tree 7	16"	retained	cedar	no	good

**Lot Slope Calculation**

Highest elevation point of lot: 114.8'  
 Lowest elevation point of lot: 84.3'  
 Difference: 30.5'  
 Horizontal distance between high & low points: 122.15'  
 Lot Slope: 30.5 ÷ 122.15 = 25%

**Lot Coverage Calculation**

Gross lot area: 15,070sf  
 Net lot area: 15,070sf  
 Allowed lot coverage: 35%  
 Allowed lot coverage area: 5,274.5sf  
 Existing lot coverage:  
 Main structure roof area: 2,655sf (2151+504)  
 Accessory building roof area: 98sf  
 Vehicular use: 978sf  
 Covered patios/decks: 98sf  
 Total existing lot coverage: 3,731sf  
 Total lot coverage area removed: 59sf (existing eave)  
 Proposed adjustment for single story: 0sf  
 Proposed adjustment for flag lot: 0sf  
 New lot coverage:  
 Main structure roof area: 558sf (500+58)  
 Accessory structure roof area: 0sf  
 Vehicular use: 0sf  
 Covered patios/decks: 558sf  
 Total new lot coverage: 1,116sf  
 Total project lot coverage area: 4,230sf (3731+59+558)  
 Proposed lot coverage: 28.1%

**Hardscape Calculation**

\*The hardscape includes, but is not limited to, structures, paved areas, stairs, walkways, decks, patios, rockeries and retaining walls, and similar constructed elements that do not have a roof. The hardscape within the landscaping area consists of materials such as wood, stone, concrete, gravel, permeable pavements or pavers, and similar materials. (...) The hardscape does not include driving surfaces or buildings. In addition, unused lot coverage may also be improved with hardscape.\*

Gross lot area: 15,070sf  
 Net lot area: 15,070sf  
 Area borrowed from lot coverage: 948sf  
 Allowed hardscape area as percentage: 15.3%  
 Allowed hardscape area: 2,304sf  
 Existing hardscape:  
 Uncovered decks: 776sf  
 Uncovered patios: 550sf  
 Walkways: 206sf (130+76)  
 Stairs: 303sf (51+166+86)  
 Rockeries/retaining walls: 132sf (79+12+41)  
 Total existing hardscape: 1,967sf  
 Total hardscape removed: 234sf (130+51+12+41)  
 New hardscape:  
 Uncovered decks: 153sf  
 Uncovered patios: 259sf  
 Walkways: 0sf  
 Stairs: 126sf (24+102)  
 Rockeries/retaining walls: 24sf  
 Total new hardscape: 562sf  
 Total project hardscape: 2,295sf (1967+234+562)  
 Proposed hardscape: 15.2%

\* Figures exempt from impervious surface calculation - see "Impervious Surfaces" notes, this sheet

**Gross Floor Area Calculation**

(note: No existing or proposed accessory buildings, second/third-story covered decks, or ceiling heights >12ft. No basement area is included from gross floor area calculation.)

Building Area	Existing Area	Removed Area	Addition Area	Total
Upper Floor	1,330sf	0	0	1,330sf
Main Floor	1,649sf	0	0	1,649sf
Basement (gross)	710sf	0	0	710sf
Garage	496sf	0	0	496sf
Total	4,185sf	0	0	4,185sf

ADU	0	0	912sf	912sf
Staircase modifier	0	0	38sf	38sf
Total	4,185sf	0	874sf	5,059sf

Lot area: 15,070sf  
 Zone: R-15  
 Allowed Gross Floor Area: 6,028sf  
 Allowed Gross Floor Area as %: 40%  
 Proposed Gross Floor Area: 5,059sf  
 Proposed Gross Floor Area as %: 33.6%

**Impervious Surface Calculation**

from Mercer Island Municipal Code, 'definitions':  
 Impervious surfaces: Includes without limitation the following:  
 1. Buildings - the footprint of the building and structures including all eaves;  
 2. Vehicular use - driveways, streets, parking areas and other areas, whether constructed of gravel, pavers, pavement, concrete or other material, that can reasonably allow vehicular travel;  
 3. Sidewalks - paved pedestrian walkways, sidewalks and bike paths;  
 4. Recreation facilities - decks, patios, porches, tennis courts, sport courts, pools, hot tubs, and other similar recreational facilities;  
 5. Miscellaneous - any other structure or hard surface which either prevents or retards the entry of water into the soil mantle as under natural conditions prior to development, or causes water to run off the surface in greater quantities or at an increased rate of flow from present flow rate under natural conditions prior to development.

from Mercer Island Municipal Code 19.02.060 C:  
 Exemptions. The following improvements will be exempt from the calculation of the maximum impervious surface limits set forth in subsection B of this section:  
 1. Decks/platforms. Decks and platforms constructed with gaps measuring one-eighth inch or greater between the boards which provide free drainage between the boards as determined by the code official shall be exempt from the calculation of maximum impervious surface limits so long as the surface below the deck or platform is not impervious.  
 2. Pavers. Pavers installed with a slope of five percent or less and covering no more than ten percent of the total lot area will be calculated as only 75 percent impervious. Provided, however, that all pavers placed in driveways, private streets, access easements, parking areas and critical areas shall be considered 100 percent impervious.  
 3. Pedestrian-oriented walkways. Uncovered pedestrian walkways constructed with gravel or pavers not to exceed 60 inches in width shall be exempt from the maximum impervious surface limits.  
 4. Public improvements. Open storm water retention/detention facilities, public rights-of-way and public pedestrian trails shall be exempt from the maximum impervious surface limits.  
 5. Rockeries/retaining walls. Rockeries and retaining walls shall be exempt from the maximum impervious surface limits.

New impervious surfaces  
 ADU, including eaves: 558sf  
 Uncovered deck (gapped flooring, exempt): 153sf  
 Uncovered patios (gapped flooring, exempt): 259sf  
 Front/Side Stairs (gapped boards, exempt): 126sf  
 Rockeries/retaining walls (exempt): 24sf  
 Total: 1,116sf  
 Existing impervious surface area to be removed: 59sf  
**Net increase in impervious surface area: 499sf**

**Stormwater Report Requirement**  
 Proposed net increase in impervious surface area is 499 square feet, therefore a Small Project Stormwater Report is required.

**Fire Alarm System**

Fire Valuation Form determined valuation of newly proposed construction is 17.6% of existing construction. There are also site deficiencies. Therefore a monitored Household Fire Alarm System per NFPA 72 Chapter 29 is required.

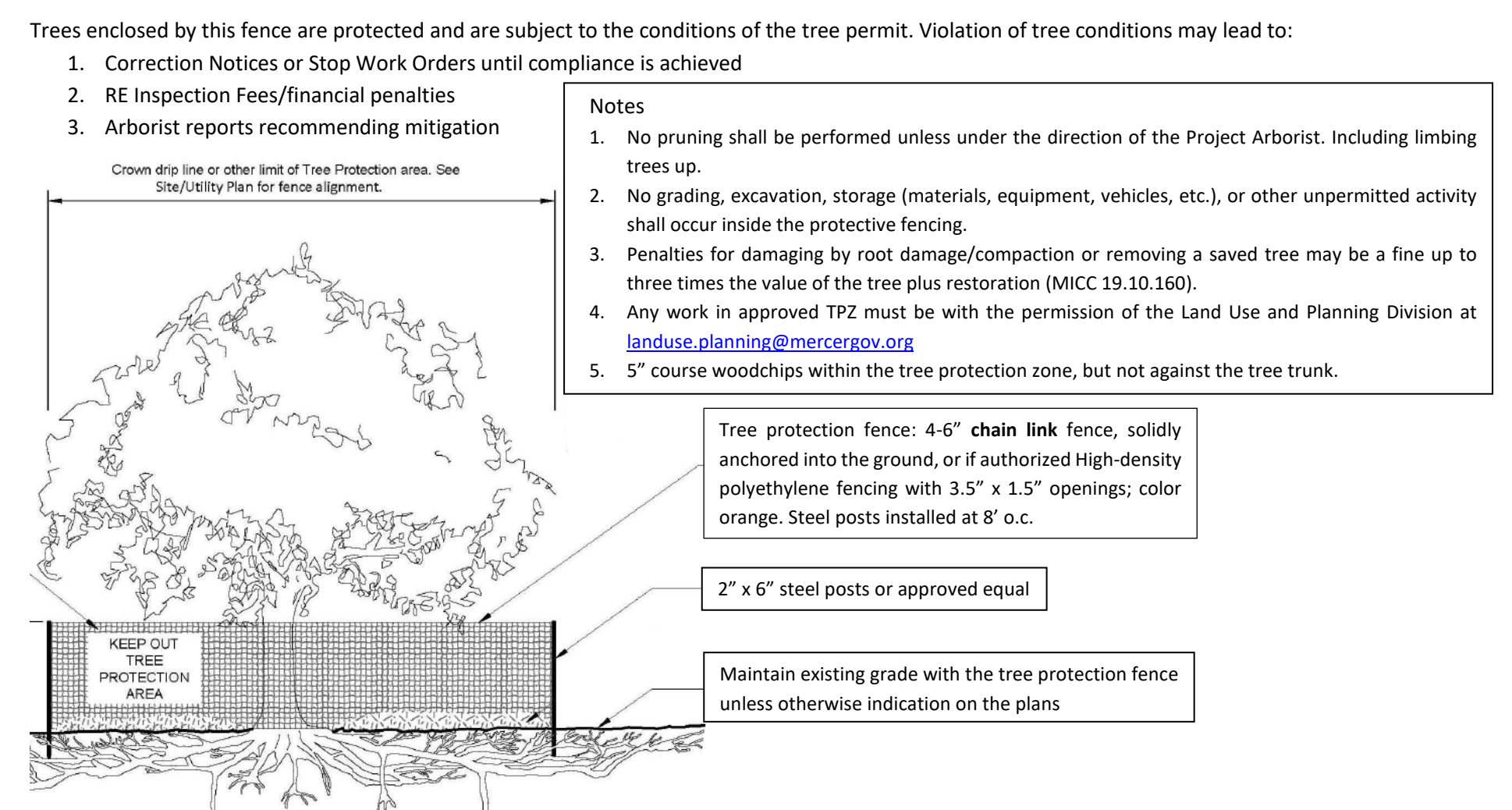
**Average Building Elevation Calculation**

MIDPOINT ELEVATION	x	WALL SEGMENT LENGTH	=	PRODUCT
A: 99.0'	a: 10.2'			1009.8
B: 100.3'	b: 12.6'			1263.8
C: 101.3'	c: 20.4'			2066.5
D: 104.4'	d: 24.4'			2547.4
E: 107.7'	e: 25.3'			2724.8
F: 105.8'	f: 29.5'			3121.1
G: 102.0'	g: 8.4'			856.8
H: 100.8'	h: 8.0'			806.4
I: 97.0'	i: 8.4'			814.8
J: 94.2'	j: 5.3'			499.3
K: 92.5'	k: 27.4'			2534.5
L: 93.2'	l: 10.3'			960.0
M: 93.2'	m: 12.7'			1183.6
N: 93.2'	n: 2.0'			186.4
O: 92.8'	o: 21.7'			2013.8
P: 92.8'	p: 9.0'			835.2
Q: 95.5'	q: 21.3'			2034.2
R: 97.5'	r: 10.9'			1062.8
S: 98.0'	s: 4.3'			421.4
		272.1 SUM		26,942.4 SUM

26,942.4 ÷ 272.1 = 99.02' **AVERAGE BUILDING ELEVATION**  
 Allowable building height: ABE + 30' = 129.02'  
 Proposed ridge height: 122.6'  
 Proposed max height of addition: 122.6' - 99.02' = 23.6'  
 Proposed max wall height on downhill side: 21.6'

**TREE PROTECTION AREA (TPZ)  
 KEEP OUT!**

**DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA**



- Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:
1. Correction Notices or Stop Work Orders until compliance is achieved
  2. RE Inspection Fees/financial penalties
  3. Arborist reports recommending mitigation
- Notes**
1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
  2. No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
  3. Penalties for damaging by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (MICC 19.10.160).
  4. Any work in approved TPZ must be with the permission of the Land Use and Planning Division at [landuse.planning@mercergov.org](mailto:landuse.planning@mercergov.org)
  5. 5" course woodchips within the tree protection zone, but not against the tree trunk.

Any Work in the protected area must be with the permission of the Land Use and Planning Division at [landuse.planning@mercergov.org](mailto:landuse.planning@mercergov.org)



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Site Plan

A0.2

## General

- The contractor shall take all necessary precautions to ensure the safety of the occupants and workers at all times during the course of the project.
- All construction shall comply with the 2021 Washington State building codes.
- All construction shall meet the specifications of the structural drawing set.
- It is the responsibility of the contractor to become fully aware of any and all conditions related to the site and existing conditions that may affect the cost or scheduling of construction activities prior to submitting bid.
- All dimensions are to face of framing (not sheathing), centerline of column, or face of concrete unless noted otherwise.
- Contractor shall verify all dimensions and conditions at the job site including, but not limited to, soils and existing utilities, and shall be responsible for same.
- Any discrepancy between the architectural drawings and structural drawings, field conditions, existing dimensions, applicable codes/ordinances/standards, consultant documents and/or other supplementary materials shall be immediately reported to the designer.
- In case of any conflict wherein the methods or standards of installation, or the materials specified, do not equal or exceed the requirements of the codes/ordinances, the codes/ordinances shall govern.
- Do not scale drawings or details. Use given dimensions.
- Check detail drawings for locations of all items not dimensioned on plans.
- Doorways and cased openings without dimensions are to be four inches (finish) from face of adjacent wall or centered between walls unless noted otherwise.
- The drawings indicate general and typical details of construction. Where conditions are not specifically indicated but are of similar character to details shown, similar details of construction shall be used, subject to review and approval by the designer and structural engineer.
- Building systems and components not specifically detailed shall be installed per manufacturers' recommendations. Notify the designer of any resulting conflicts.
- Contractor shall provide temporary bracing for the structure and structural components until all final connections have been completed in accordance with the plans.
- Contractor shall install dust barriers and other protection as required to protect installed finishes and facilities.
- The contractor and/or the sub-contractors shall apply for, obtain, and pay for all required permits and fees except for the building permit.
- Revised items in the drawing set, when present, are indicated with cloud-shaped outlines. When a portion of a drawing or sheet has been revised, that portion is clouded. When an entire drawing has been revised or added, that drawing's number and title are clouded.

## Site

- The contractor shall verify locations of all utilities and services to the site prior to beginning any site improvements.
- No materials are to be stockpiled in the public right-of-way. All rubbish and debris is to be removed from the site.
- Adjacent properties, streets and walks are to be protected from damage at all times.
- All downspouts and roof drains are to be connected to the point of discharge specified on the standard drainage plan and/or site plan by tightline unless site conditions allow for drywells or surface drainage, or unless noted otherwise in construction documents.
- All footings shall be carried to solid, undisturbed original earth. Remove all unsuitable material under footings and slabs and replace with concrete or with compacted fill as directed by a geotechnical engineer.

## Utilities

- All existing utility systems for sewer, storm sewer, water, electric, gas, and telephone will remain.

## Metal

- Provide galvanic insulation between dissimilar metals.

## Wood

- All wood framing details not shown otherwise shall be constructed to the minimum standards of the IRC.
- All wood in direct contact with concrete or exposed weather shall be pressure treated with an approved preservative unless decay-resistant heartwood of cedar or redwood is used. Fasteners for pressure treated wood shall be hot dipped galvanized steel, stainless steel, silicon bronze or copper.
- Provide fireblocking vertically at ceiling and floor levels and horizontally at intervals not exceeding 10 feet and as required for concealed spaces under IRC R302.11.

## Weather Protection

- All siding methods must have a weather resistive barrier that meets the requirements of IRC R703. General weather protection for the entire project must meet the requirements of IRC R903.

## Doors, Windows, Skylights

- Glazing shall conform to federal and local glazing standards.
- All glazing in hazardous locations, defined by IRC R308.4, shall be safety glazing, including but not limited to the safety glazing identified in the construction documents.
- All emergency escape and rescue openings for bedrooms and basements shall meet the requirements of IRC R310. Net clear opening of not less than 5.7 square feet in area, not less than 24 inches in height, and not less than 20 inches in width.
- Security standards shall meet the requirements of IRC R330. Deadbolt (minimum 1/2 inch throw) and viewpoint required at exterior doors. Windows and sliding doors within 10 feet of grade shall be provided with latching devices. All locks shall be able to be opened from the inside without special knowledge or effort.
- All skylights and sloped glazing shall meet the requirements of IRC 308.6.
- Exterior doors shall be 1-3/4 inch solid core with full weatherstrip and threshold. All glazing in exterior doors shall be double glazed with safety glass.

## Stairways

- All stairways shall meet the requirements of IRC R311.7. Minimum clear width of the stairway above the handrail shall be 36 inches. Minimum tread depth shall be 10 inches. Maximum riser height shall be 7-3/4 inches. Minimum headroom shall be 80 inches.
- A continuous handrail shall be provided to at least one side of the stairway, mounted 34 to 38 inches above tread nosing.
- Per IRC R302.7: Enclosed accessible space under stairs shall have walls, under-stair surface, and any soffits protected on the underside w/ 1/2" gypsum board.
- Per IRC R311.7.2 exception 1: Where the nosings of treads at the side of a flight of stairs extend under the edge of a floor opening through which the stair passes, the floor opening shall not project horizontally into the required headroom more than 4.75 inches.

## Guardrails

- All guardrails for decks, balconies and open railings must meet the requirements of IRC R312. Minimum guardrail height shall be 36 inches. Openings between intermediate members, if any, shall be arranged to prevent passage of a 4 inch sphere.

## Electrical

- Electrical drawings are supplementary to the architectural drawings. It shall be the responsibility of each contractor to check with the architectural drawings before installation of their work.
- All electrical work shall be bidder designed, shall comply with all applicable codes and ordinances, and shall adhere to all requirements of the construction documents. Obtain and pay for permits.
- Wiring methods shall be as permitted by code and installation per NECA standards.
- All devices to be specification grade.
- All new electrical panels or load centers to be protected on line side by current limiting fuses.
- All receptacles shall be 15 inches from finished floor to bottom of box unless noted otherwise.
- All switches shall be 42 inches from finished floor to bottom of box unless noted otherwise.
- Verify all receptacles, switch and fixture locations with owner prior to installation.
- All exterior lighting to be shielded and directed away from adjacent properties.

## Mechanical

- Mechanical drawings are supplementary to the architectural drawings. It shall be the responsibility of each contractor to check with the architectural drawings before installation of their work.
- All mechanical work shall be bidder designed, shall comply with all applicable codes and ordinances, and shall adhere to all requirements of the construction documents. Obtain and pay for permits.
- All pipes, conduits, ducts, vents, etc. shall be concealed or furred and finished, unless noted as exposed construction on the drawings. Offset studs where required so that finished wall surface will be flush.
- Ventilation of all areas shall conform with WAC 51-11, 51-13 and SRC tables M1507.3.3 and M1507.4.

## Plumbing

- Plumbing drawings are supplementary to the architectural drawings. It shall be the responsibility of each contractor to check with the architectural drawings before installation of their work.
- All plumbing work shall be bidder designed, shall comply with all applicable codes and ordinances, and shall adhere to all requirements of the construction documents. Obtain and pay for permits.
- All pipes, conduits, ducts, vents, etc. shall be concealed or furred and finished, unless noted as exposed construction on the drawings. Offset studs where required so that finished wall surface will be flush.
- Provide pressure relief valve for hot water tank. Drain to the outside of the building with drain end not more than two feet nor less than 6 inches above the ground, pointing down.
- Hot water tanks having flexible pipe connections and over four feet tall shall be strapped down to prevent overturn in the event of an earthquake.
- Provide an approved back flow prevention device at all hose bibs.
- Each horizontal drainage pipe shall be provided with a cleanout at its upper terminal.

## Energy Efficiency & Indoor Air Quality

- See coversheet for required insulation values.
- Studs in framed insulated walls shall be 16 inches on center, minimum.
- All exterior joints around windows and doors, openings between walls and roofs or foundations, openings at penetrations and all other such openings shall be sealed, caulked, or have a gasket or weatherstripping to limit air leakage per Energy Code.
- Glazing area allowed is unlimited, group R-3 only. All new exterior glazing shall be double glazed (min).
- Provide combustion, ventilation and dilution for any gas appliances per IRC G2407(304).
- Provide venting for all gas heating appliances in accordance with the heating appliance manufacturer's recommendations and the IRC.
- Interior design conditions: (per Energy Code R302) the interior design temperatures used for heating and cooling load calculations shall be a maximum of 72°F (22°C) for heating and minimum of 75°F (24°C) for cooling.
- Source specific ventilation: Ventilation (exhaust) shall be provided in kitchens, bathrooms, and toilet rooms per IRC section M1505.4.4.1:
  - Kitchens: min 250cfm intermittent
  - Bathrooms: 110cfm intermittent
 Fan controls shall be provided with an on/off manual override switch.
- A residential energy compliance certificate is required to be completed by the builder and permanently posted in a utility room or on the electrical panel per Energy Code R401.3 prior to final inspection.
- The building thermal envelope shall comply with Energy Code sections R402.4.1 through R402.4.4.
- At least one thermostat shall be provided for each separate heating and cooling system per section R403.1.
- A minimum 90% of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps.
- See coversheet for Energy Credit information.
- Air leakage through the building envelope shall not exceed 5.0 air changes per hour and shall be tested as such. A written report of the test results shall be signed by the testing party and provided to the building inspector prior to call for final inspection.
- Headers at windows and doors shall be insulated to a minimum value of R-10.



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## General Notes

# A0.3



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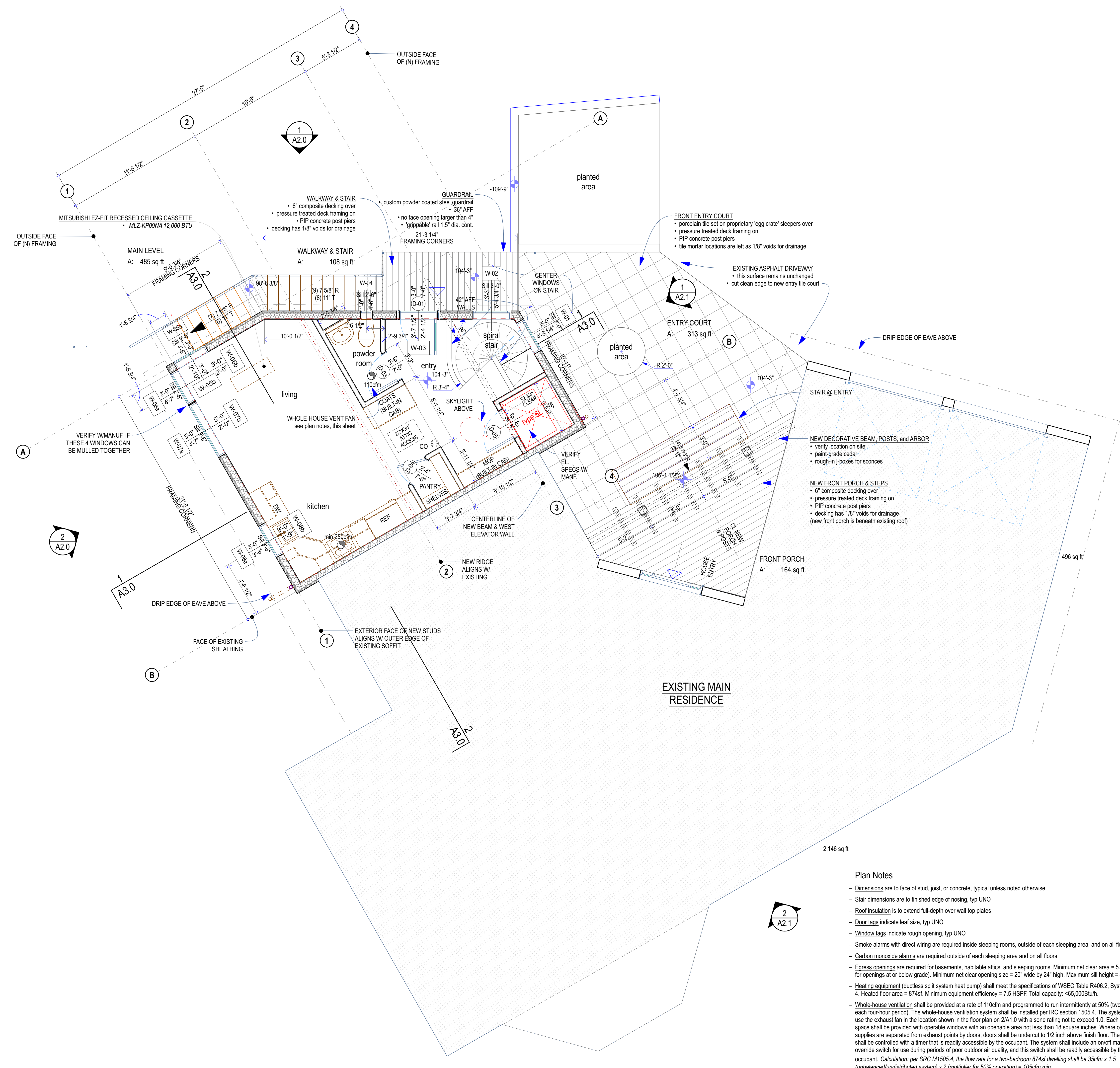
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## Main Floor Plan

# A1.0



- Plan Notes**
- Dimensions are to face of stud, joist, or concrete, typical unless noted otherwise
  - Stair dimensions are to finished edge of nosing, typ UNO
  - Roof insulation is to extend full-depth over wall top plates
  - Door tags indicate leaf size, typ UNO
  - Window tags indicate rough opening, typ UNO
  - Smoke alarms with direct wiring are required inside sleeping rooms, outside of each sleeping area, and on all floors
  - Carbon monoxide alarms are required outside of each sleeping area and on all floors
  - Egress openings are required for basements, habitable attics, and sleeping rooms. Minimum net clear area = 5.7sf (5.0sf for openings at or below grade). Minimum net clear opening size = 20" wide by 24" high. Maximum sill height = 44"
  - Heating equipment (ductless split system heat pump) shall meet the specifications of WSEC Table R406.2, System Type 4. Heated floor area = 874sf. Minimum equipment efficiency = 7.5 HSPF. Total capacity: <65,000Btu/h.
  - Whole-house ventilation shall be provided at a rate of 110cfm and programmed to run intermittently at 50% (two hours of each four-hour period). The whole-house ventilation system shall be installed per IRC section 1505.4. The system shall use the exhaust fan in the location shown in the floor plan on 2/A1.0 with a some rating not to exceed 1.0. Each habitable space shall be provided with operable windows with an operable area not less than 18 square inches. Where outdoor air supplies are separated from exhaust points by doors, doors shall be undercut to 1/2 inch above finish floor. The system shall be controlled with a timer that is readily accessible by the occupant. The system shall include an on/off manual override switch for use during periods of poor outdoor air quality, and this switch shall be readily accessible by the occupant. Calculation: per SRC M1505.4, the flow rate for a two-bedroom 874sf dwelling shall be 35cfm x 1.5 (unbalanced/undistributed system) x 2 (multiplier for 50% operation) = 105cfm min.



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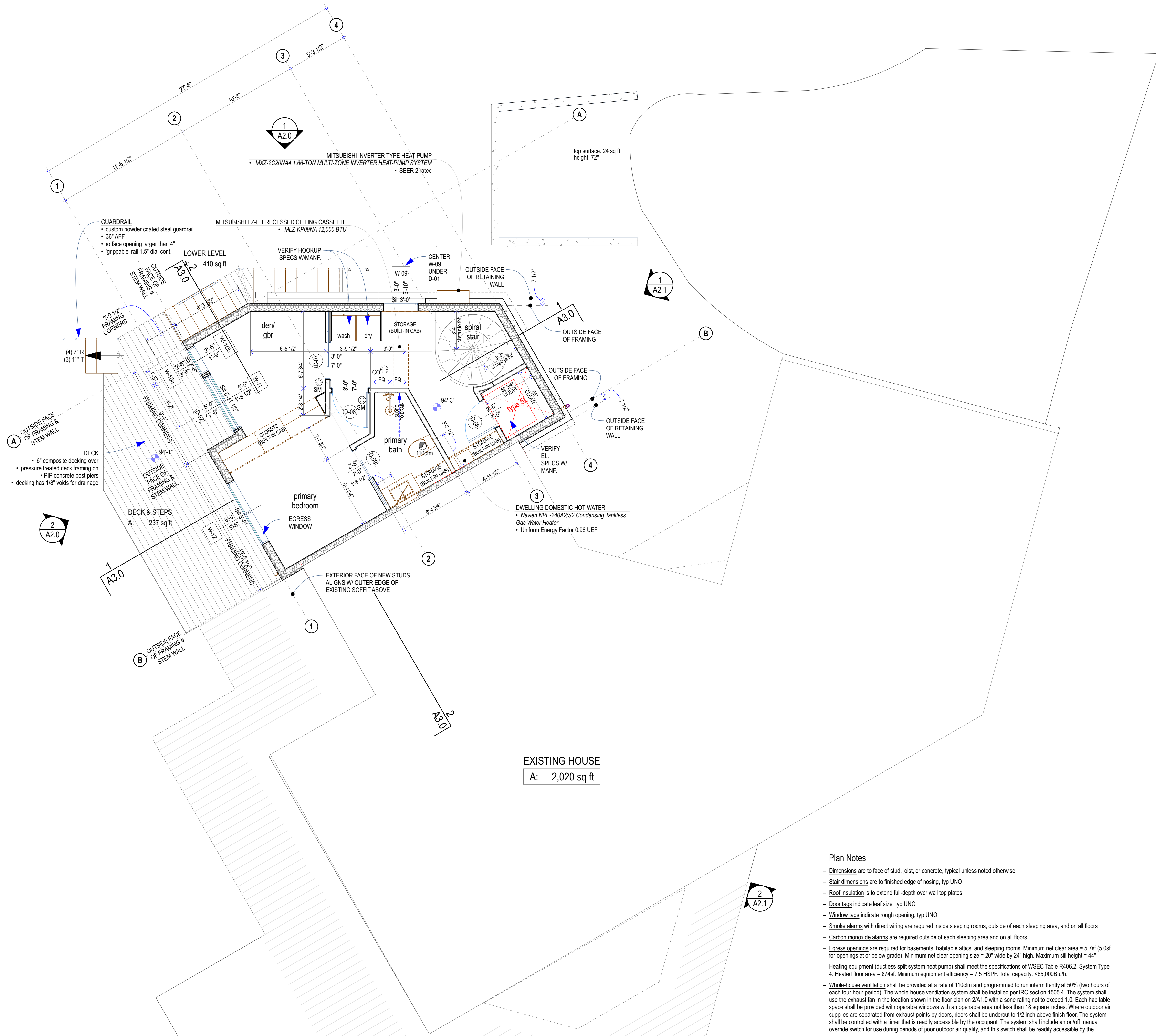
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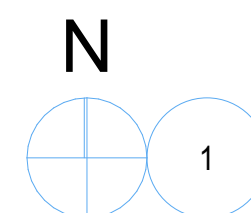
## Lower Level Plan

# A1.1



### Plan Notes

- Dimensions are to face of stud, joist, or concrete, typical unless noted otherwise
- Stair dimensions are to finished edge of nosing, typ UNO
- Roof insulation is to extend full-depth over wall top plates
- Door tags indicate leaf size, typ UNO
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Lower Level  
SCALE: 1/4" = 1'-0"



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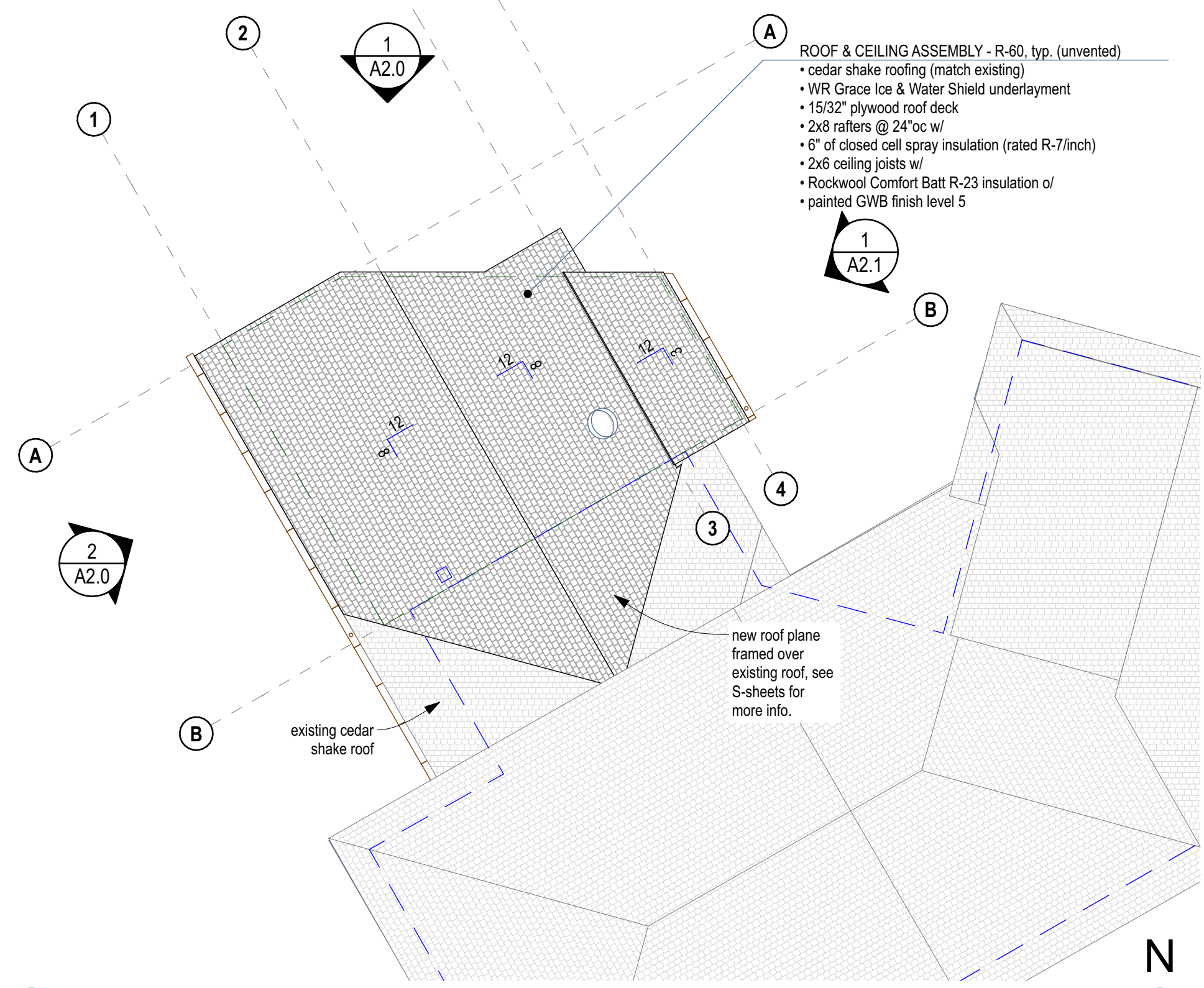
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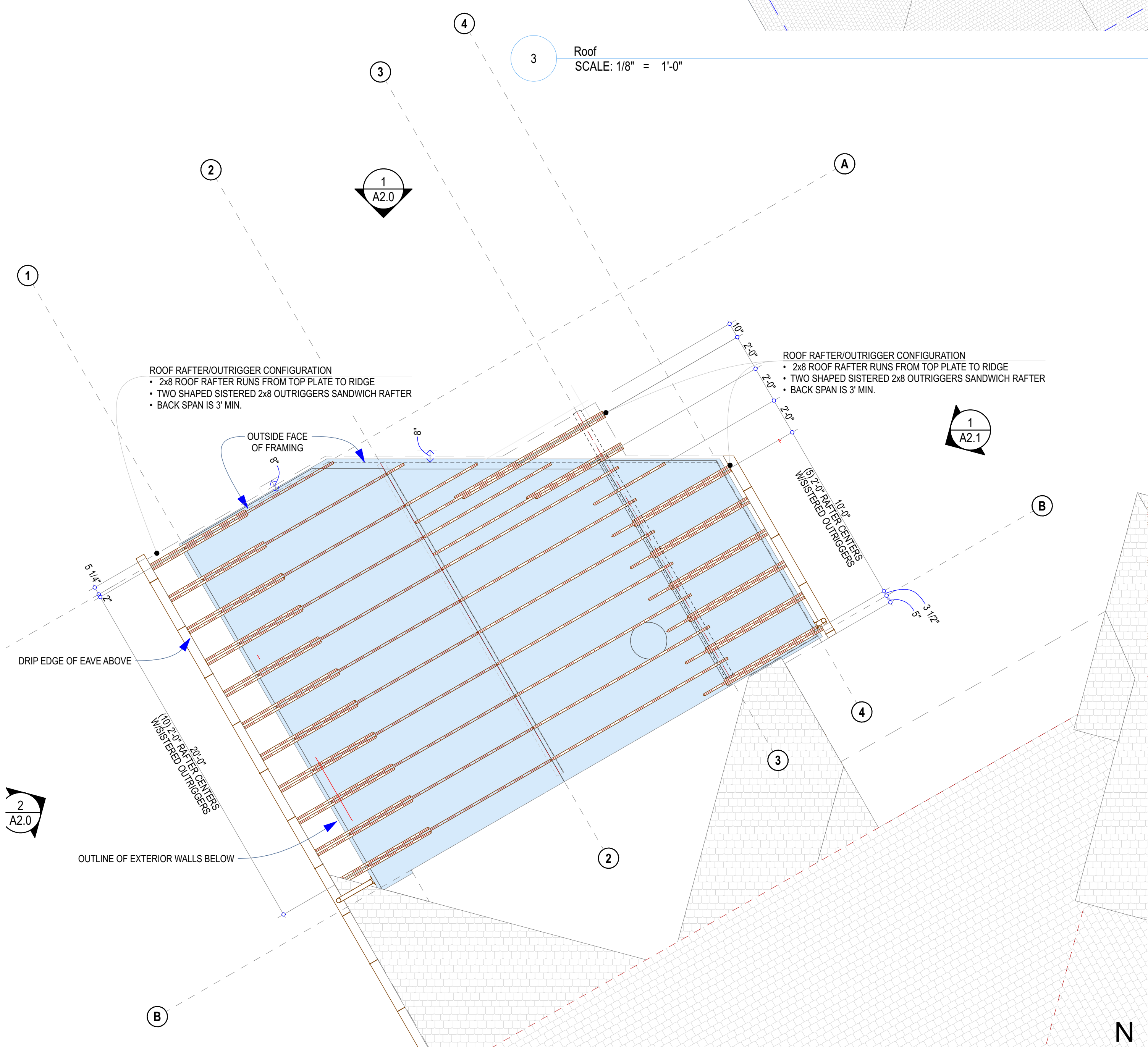
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Foundation Plan, Roof  
Plan

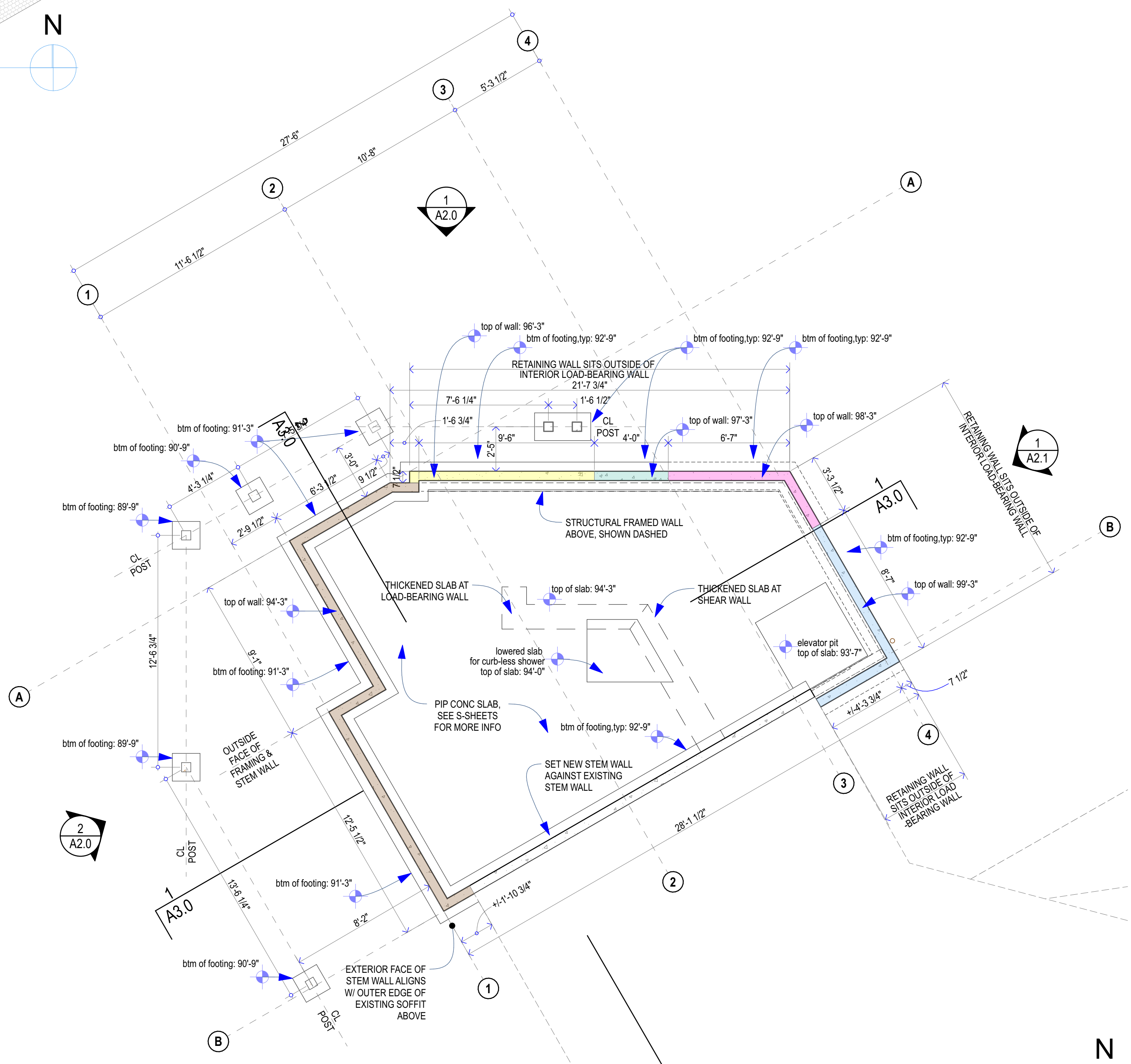
A1.2



3 Roof  
SCALE: 1/8" = 1'-0"

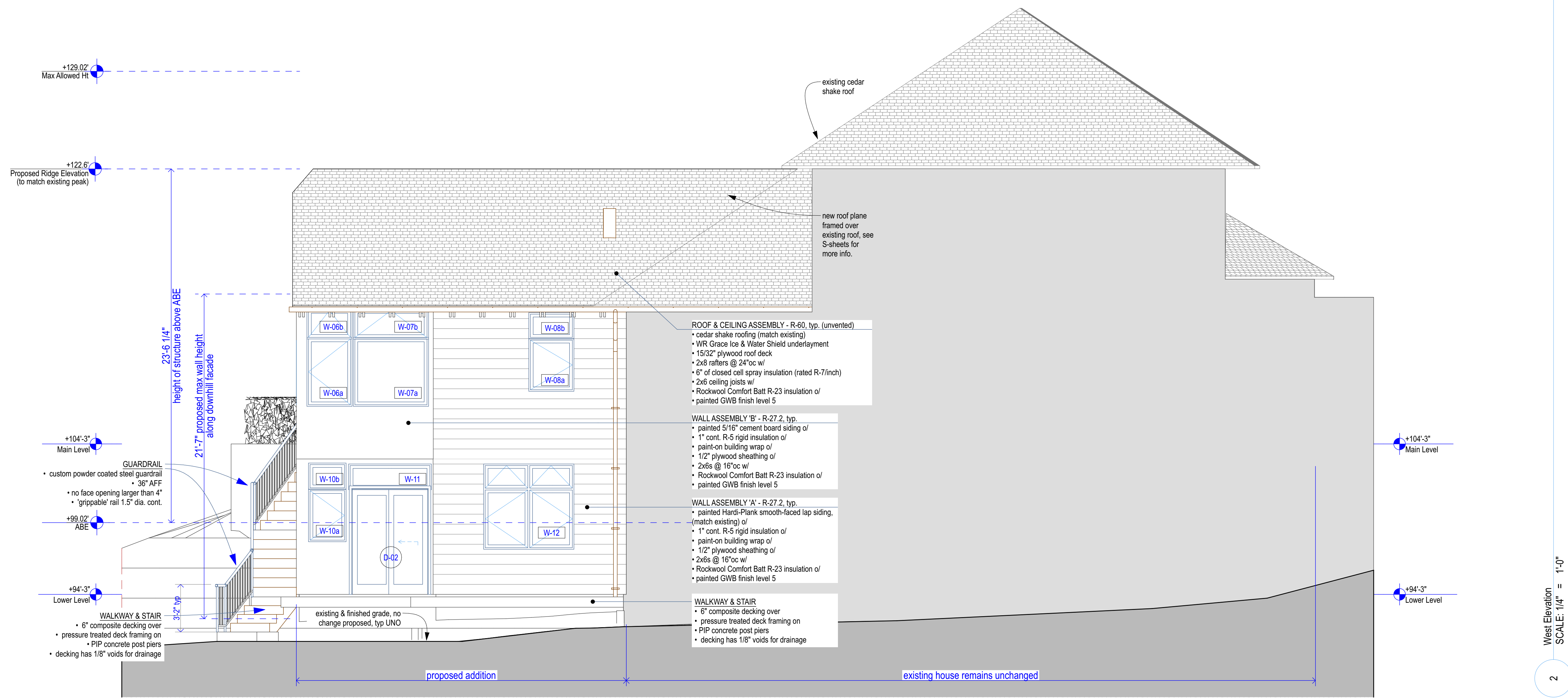


2 Roof Framing Diagram  
SCALE: 1/4" = 1'-0"

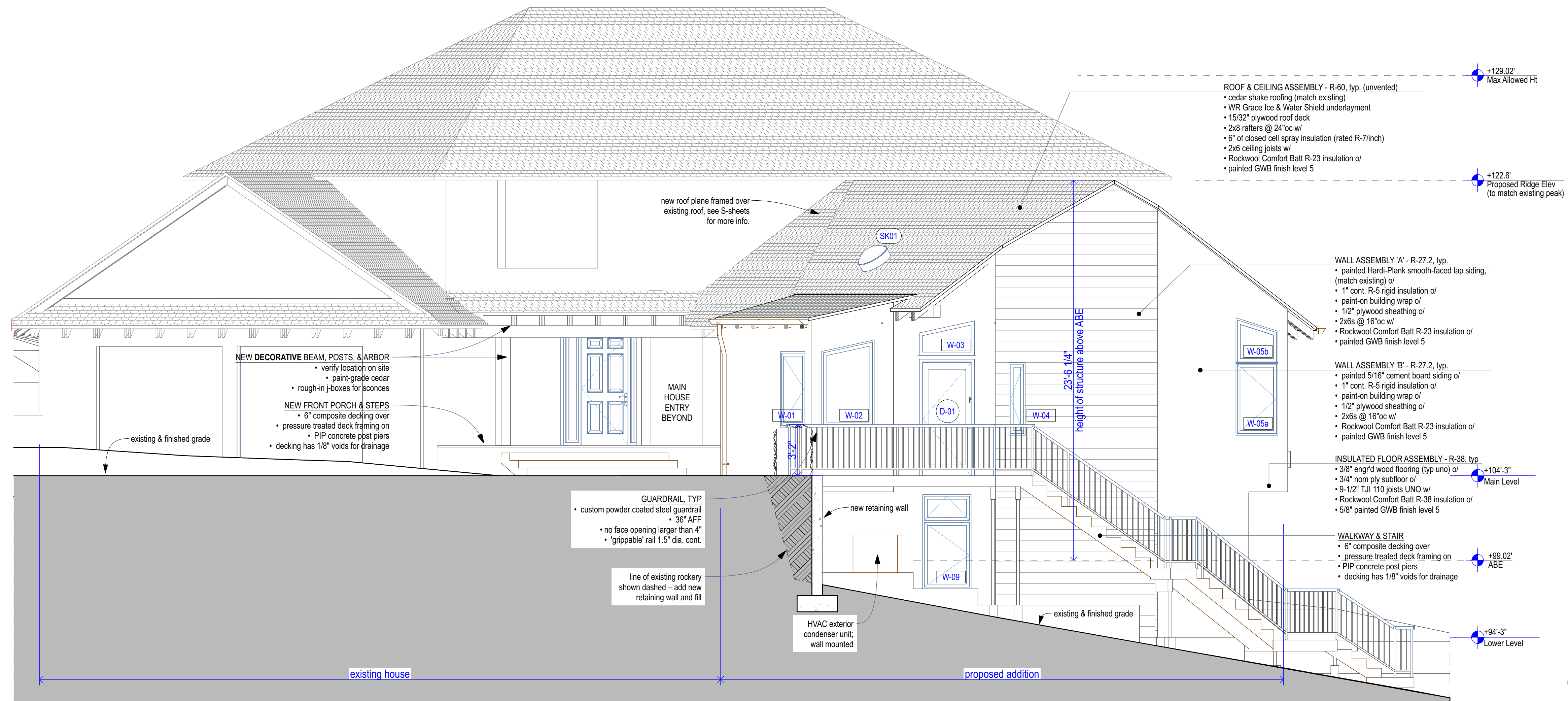


1 Foundation  
SCALE: 1/4" = 1'-0"

BIMcloud: DiMarco Architecture - BIMcloud Basic for Archicad 27/Current Projects/Lin Kicska PERMIT SET 10.30.24



2 West Elevation  
SCALE: 1/4" = 1'-0"



1 North Elevation  
SCALE: 1/4" = 1'-0"



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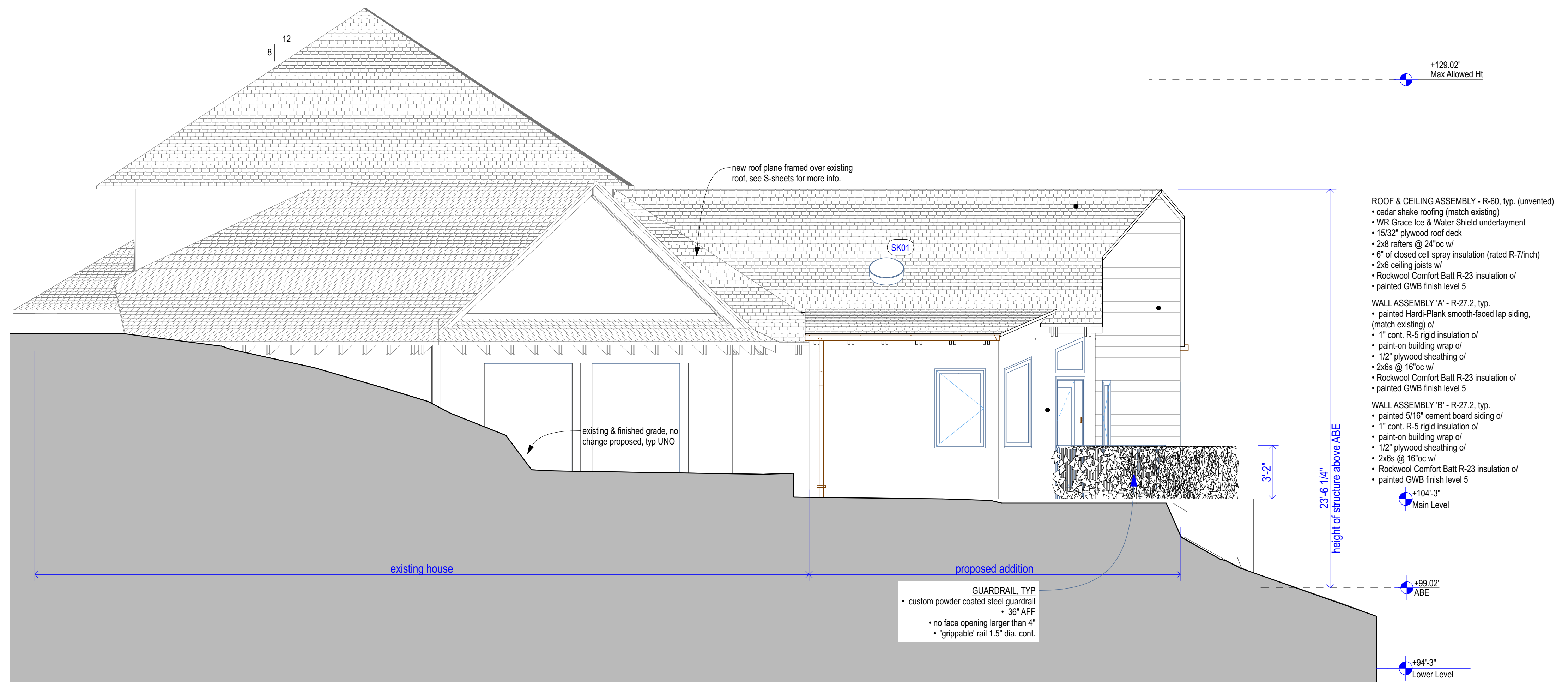
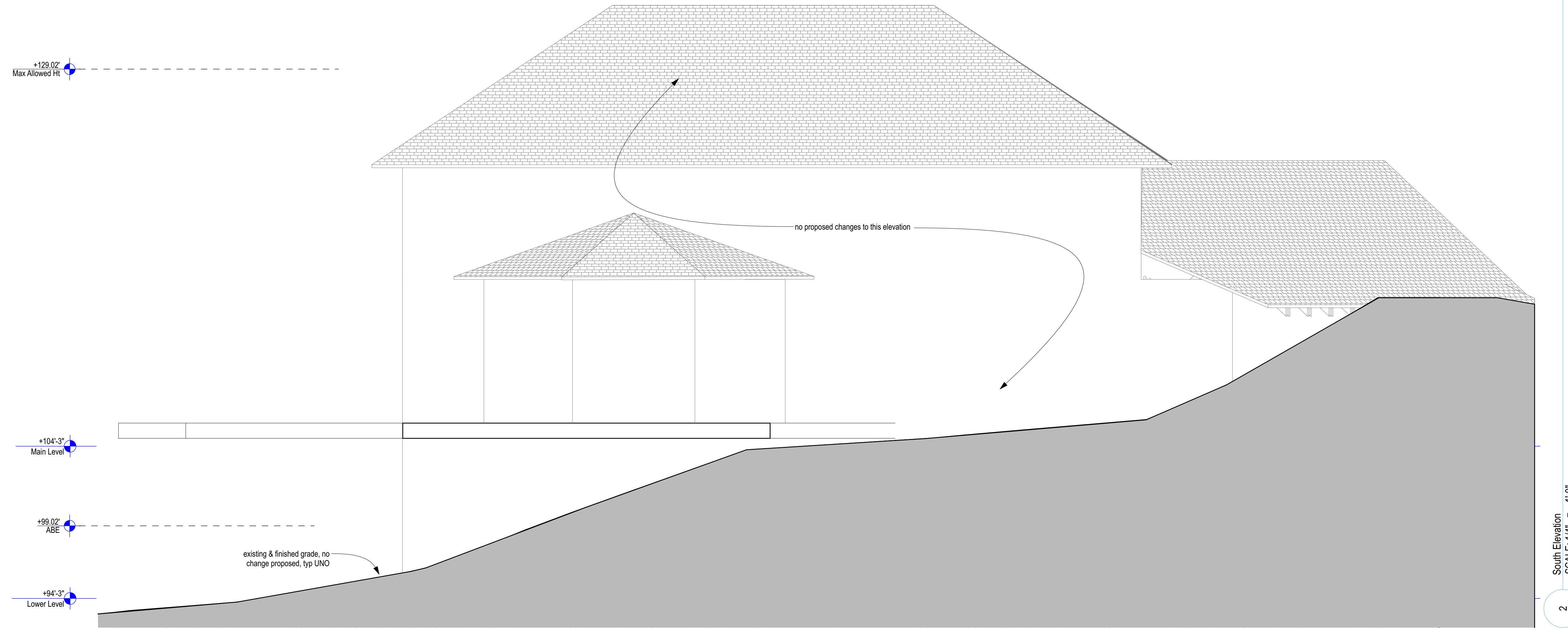
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### Exterior Elevations

# A2.0



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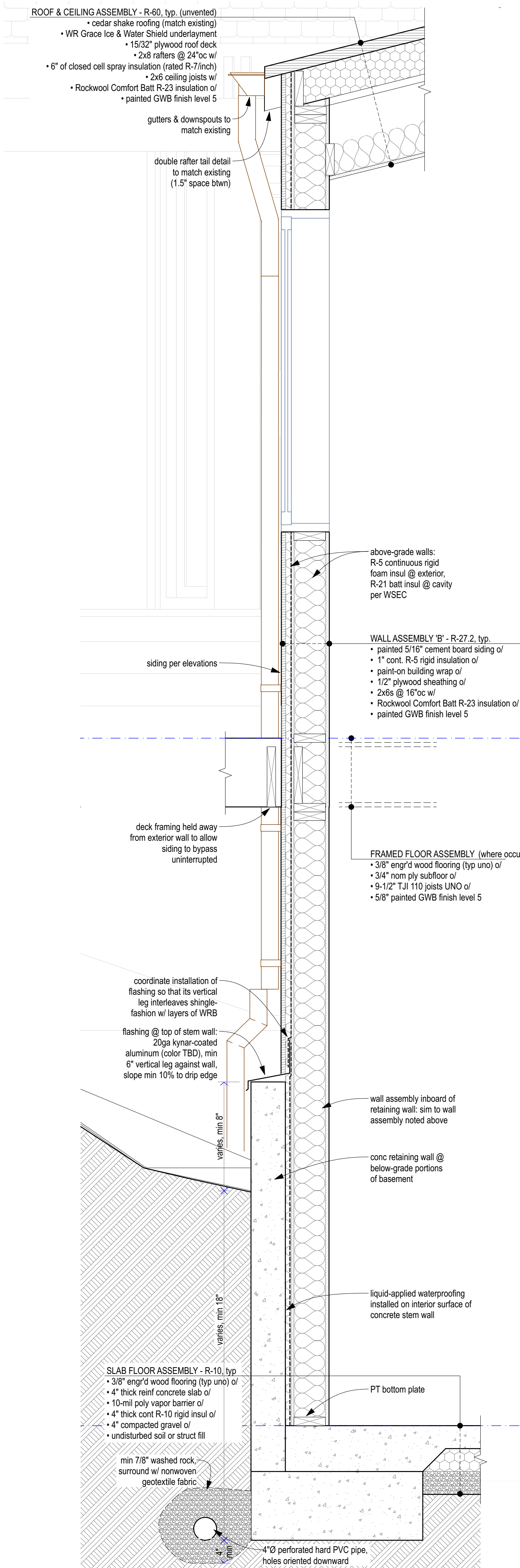
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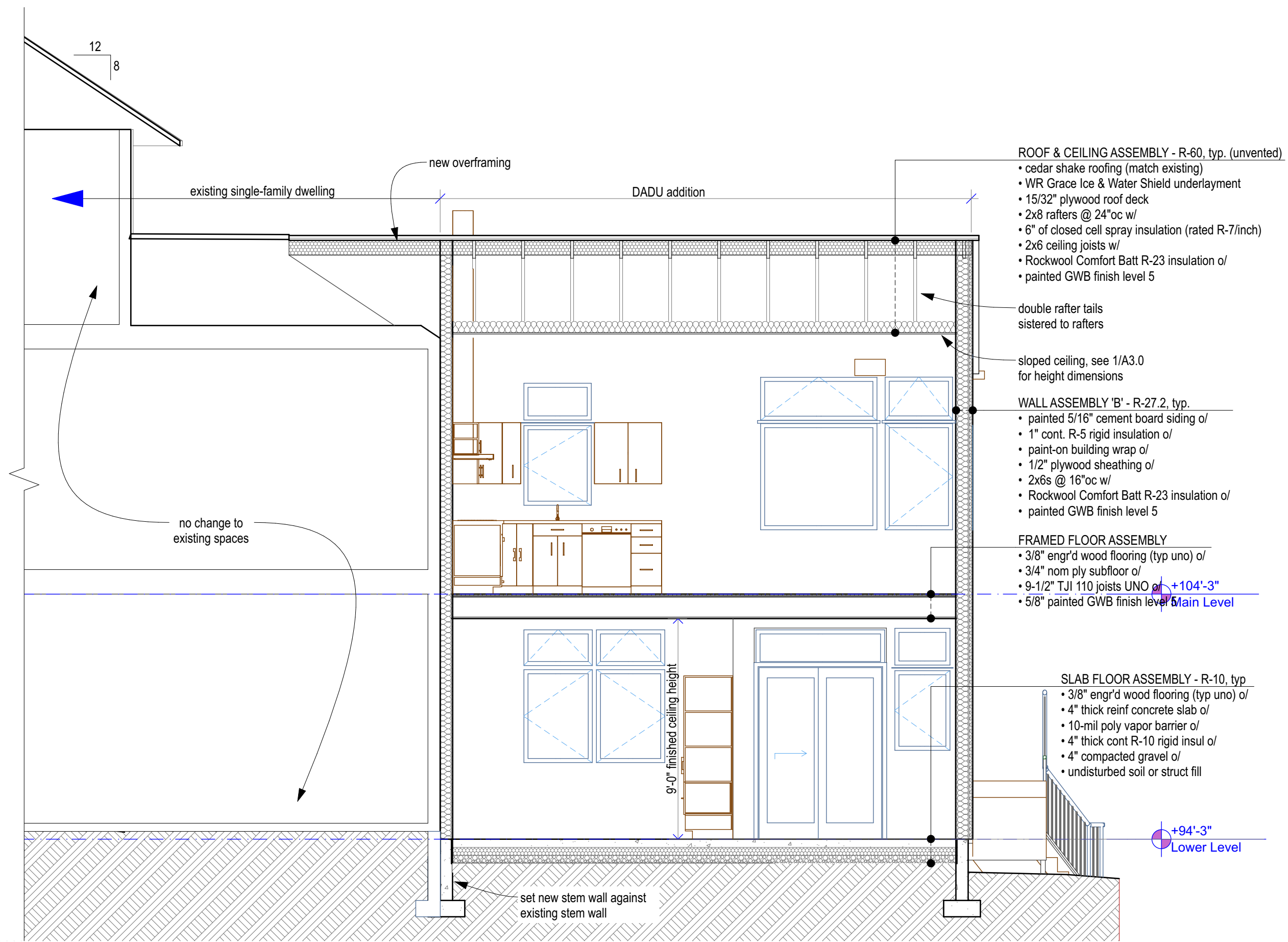
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Exterior Elevations

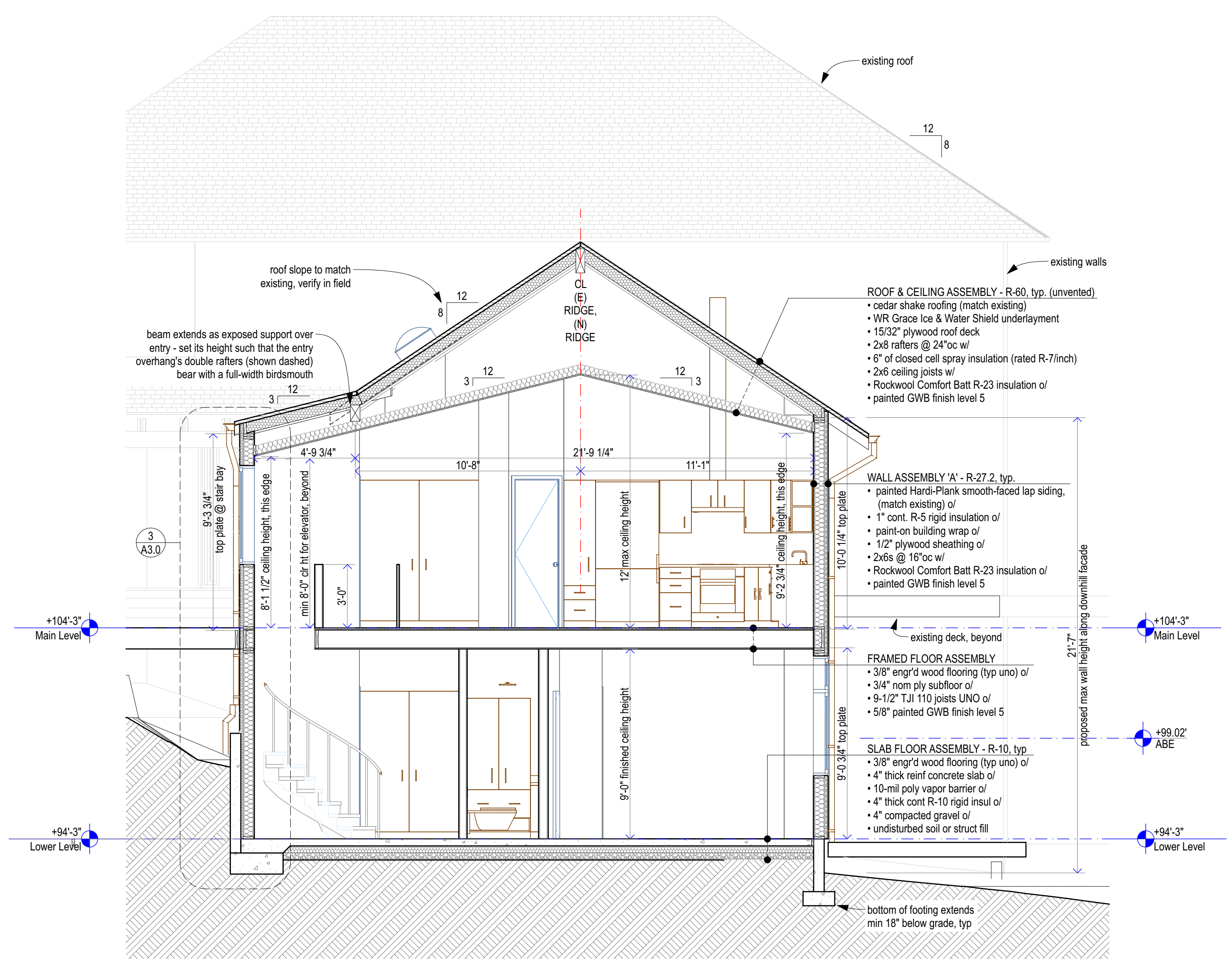
A2.1



3 Wall Section  
SCALE: 1" = 1'-0"



2 Section Looking West  
SCALE: 1/4" = 1'-0"



1 Section Looking South  
SCALE: 1/4" = 1'-0"



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Building & Wall Sections

A3.0

Windows

ID	Qty	Type	Rough Opening		U-Val	Area	Material	Manufacturer	Model	Hardware	SG	Priv	Egress	Notes
			W	H										
W-01	1	casement	3'-0"	4'-8 1/4"	0.25	14.06				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-02	1	fixed	3'-3"	5'-4 3/4"	0.25	17.54				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	trapezoid, match ceiling slope
W-03	1	fixed	3'-7 1/2"	2'-4 1/2"	0.25	8.61				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	trapezoid, match ceiling slope
W-04	1	casement	1'-0"	4'-6"	0.25	4.50				Undefined	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
W-05a	1	casement	3'-0"	4'-6"	0.25	13.50				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-05b	1	transom	3'-0"	2'-10"	0.25	8.50				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	trapezoid, match ceiling slope
W-06a	1	casement	3'-0"	4'-7"	0.25	13.75				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-06b	1	transom	3'-0"	2'-0"	0.25	6.00				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-07a	1	fixed	5'-0"	4'-7"	0.25	22.92				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-07b	1	transom	5'-0"	2'-0"	0.25	10.00				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-08a	1	casement	3'-0"	3'-6"	0.25	10.50				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-08b	1	transom	3'-0"	1'-9"	0.25	5.25				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-09	1	casement	3'-0"	5'-10"	0.25	17.50				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-10a	1	casement	2'-6"	3'-6"	0.25	8.75				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-10b	1	transom	2'-6"	1'-9"	0.25	4.38				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-11	1	transom	5'-6"	1'-8 1/2"	0.25	9.40				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
W-12	1		6'-0"	5'-8"	0.25	34.00				Undefined	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

209.16 ft²

Exterior Doors

ID	Qty	Type	Leaf Dimensions			U-Val	Area	Material	Manufacturer	Model	Hardware	Jamb	Notes
			W	H	Thk								
D-01	1	swing	3'-0"	7'-0"		0.25	22.43				Undefined		
D-02	1	slider	5'-0"	7'-0"		0.25	36.60				Undefined		

59.03 ft²

Interior Doors

ID	Qty	Type	Leaf Dimensions			Material	Manuf	Model	Hardware	Jamb	Notes
			W	H	Thk						
D-03	1	swing	2'-6"	7'-0"	1 3/4"			Undefined			
D-04	1	swing	2'-4"	7'-0"	1 3/4"			Undefined			
D-05	1	swing	2'-6"	7'-0"	1 3/4"			Undefined			
D-06	1	swing	2'-6"	7'-0"	1 3/4"			Undefined			
D-07	1	pocket	3'-0"	7'-0"	1 3/8"			Undefined			
D-08	1	swing	3'-0"	7'-0"	1 3/8"			Undefined			
D-09	1	pocket	2'-8"	7'-0"	1 3/8"			Undefined			

Skylights

ID	Qty	Type	Rough Opening (L x W)	U-Val	Area	Material	Manuf	Model	Hardware	SG	Priv	Egress	Notes
SK01	2		2'-0" x 2'-0"		8.00					<input type="checkbox"/>	<input type="checkbox"/>		circular

8.00 ft²

All glazing shall be NFRC-certified.

- Glazing in the following hazardous locations shall be safety glazing (see IRC R308.4 for details and exceptions):
- In doors (operable or fixed, except decorative glazing)
  - Adjacent to doors (in an operable or fixed panel), where the bottom exposed edge of glazing is less than 60" above the floor or walking surface and it meets either of the following conditions:
    - Glazing is within 24" of either side of the door in the plane of the door in the closed position
    - Glazing is on a wall less than 180" from the plane of the door and within 24" of the hinge side of an in-swinging door
  - In a window (operable or fixed) that meets all of the following conditions:
    - The exposed area of an individual pane is larger than 9 square feet
    - The bottom exposed edge of glazing is less than 18" above the floor
    - The top edge of the glazing is more than 36" above the floor
    - One or more walking surfaces are within 36" of the glazing (measured horizontally and in a straight line)
  - In guards and railings
  - Adjacent to wet surfaces (hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers, and indoor or outdoor swimming pools) where the bottom exposed edge of glazing is less than 60" above any standing or walking surface
  - Adjacent to stairs and ramps, where the bottom exposed edge of glazing is less than 36" above the plane of the adjacent walking surface of stairways, stair landings, and ramps
  - Adjacent to the landing at the bottom of a stairway where the glazing is less than 36" above the landing and within a 60" horizontal arc less than 180" from the bottom tread nosing

Door Legend

ID	D-01	D-02	D-03	D-04	D-05	D-06	D-07	D-08	D-09
TYPE	swing	slider	swing	swing	swing	swing	pocket	swing	pocket
VIEW									
SIZE	3'-0" x 7'-0"	5'-0" x 7'-0"	2'-6" x 7'-0"	2'-4" x 7'-0"	2'-6" x 7'-0"	2'-6" x 7'-0"	3'-0" x 7'-0"	3'-0" x 7'-0"	2'-8" x 7'-0"

Window Legend

ID	W-01	W-02	W-03	W-04	W-05a	W-05b	W-06a	W-06b	W-07a	W-07b	W-08a	W-08b	W-09	W-10a	W-10b	W-11	W-12
TYPE	casement	fixed	fixed	casement	casement	transom	casement	transom	fixed	transom	casement	transom	casement	casement	transom	transom	
VIEW																	
SIZE	3'-0" x 4'-8 1/4"	3'-3" x 5'-4 3/4"	3'-7 1/2" x 2'-4 1/2"	1'-0" x 4'-6"	3'-0" x 4'-6"	3'-0" x 2'-10"	3'-0" x 4'-7"	3'-0" x 2'-0"	5'-0" x 4'-7"	5'-0" x 2'-0"	3'-0" x 3'-6"	3'-0" x 1'-9"	3'-0" x 5'-10"	2'-6" x 3'-6"	2'-6" x 1'-9"	5'-6" x 1'-8 1/2"	6'-0" x 5'-8"



DiMarco Architecture + Design  
7541 Seward Park Ave S  
Seattle WA 98118-4246 USA

Lin Kicska  
Residence

5331 Forest Ave SE  
Mercer Island, WA 98040

ISSUES:

NAME	DATE	ID
permit submittal	5/6/25	00

Window/Door/Skylight  
Schedules

A4.0























# 5331 FOREST AVE SE MERCER ISLAND, WA 98040

## DATUM & BENCHMARK:

### BASIS OF BEARINGS

RECORD OF SURVEY BY TJC LAND SURVEYING,  
RECORDED UNDER RECORDING NO.  
20170830900011, RECORDS OF KING COUNTY,  
WASHINGTON.

## VERTICAL DATUM & CONTOUR INTERVAL

ELEVATIONS SHOWN ON THIS DRAWING WERE DERIVED  
FROM GPS OBSERVATION USING THE WSRN.

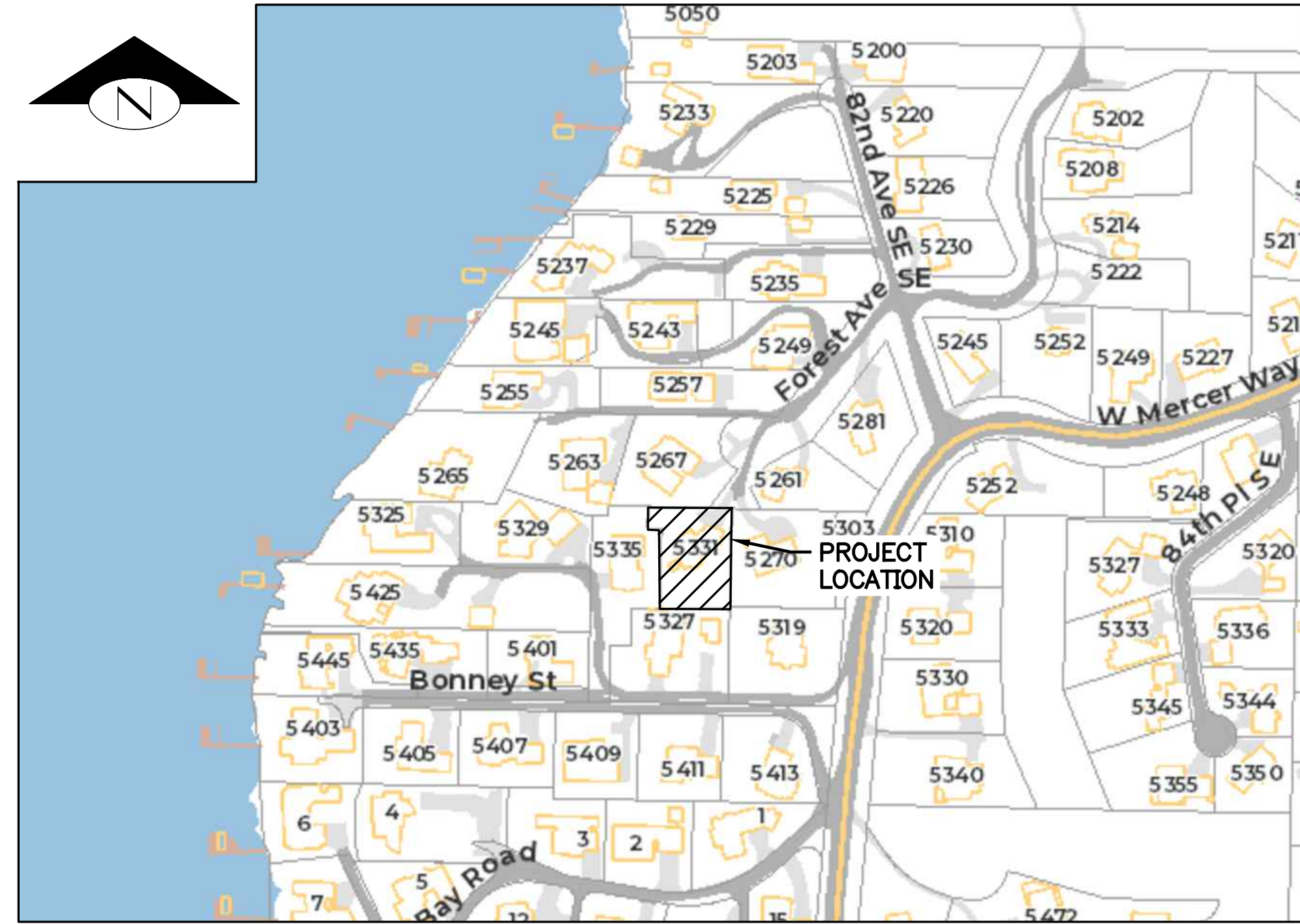
DATUM - NAVD 88

2.0' CONTOUR INTERVAL - THE EXPECTED VERTICAL  
ACCURACY IS EQUAL TO 1/2 THE CONTOUR INTERVAL OR  
PLUS / MINUS 1.0' FOR THIS PROJECT.

## LEGAL DESCRIPTION:

LOT B OF MERCER ISLAND SHORT PLAT NO. MI-79-03-09,  
RECORDED UNDER RECORDING NO. 7911260615, BEING  
A SUBDIVISION OF LOTS 4 THROUGH 8 AND 23 THROUGH  
27, BLOCK 2, AND PORTION OF VACATED BORDER  
STREET AND OF VACATED ANDERSON STREET,  
GROVELAND PARK, ACCORDING TO THE PLAT THEREOF  
RECORDED IN VOLUME 8 OF PLATS, PAGE 36, IN KING  
COUNTY, WASHINGTON;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF  
KING, STATE OF WASHINGTON.



VICINITY MAP  
SCALE: NTS

## CONTACTS:

APPLICANT:  
KATHLEEN LIN & GREG KICSKA  
5531 FOREST AVE SE  
MERCER ISLAND, WA 98040

### CIVIL ENGINEER:

FACET  
9706 4TH AVE NE, SUITE 300  
SEATTLE, WA 98115  
PHONE: (206) 523.0024  
CONTACT: TIM GABELEIN, P.E.

### SURVEYOR:

SITE SURVEYING, INC.  
21923 NE 11TH ST  
SAMMAMISH, WA 98074

### ARCHITECT:

DIMARCO ARCHITECTURE & DESIGN  
7541 SEWARD PARK AVE S  
SEATTLE, WA 98118  
PHONE: (206) 355.6795  
CONTACT: DAVID DIMARCO

## ABBREVIATIONS:

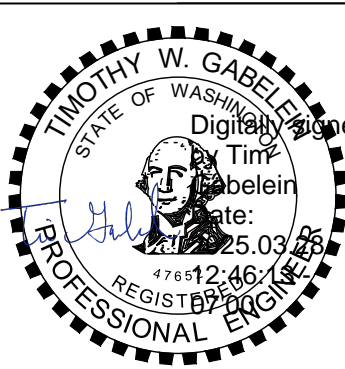
BM = BENCHMARK  
CB = CATCH BASIN  
CONC = CONCRETE  
DEMO = DEMOLITION  
EG = EXISTING GRADE  
EOP = EDGE OF PAVEMENT  
EX = EXISTING  
FF = FINISHED FLOOR  
FG = FINISHED GRADE  
FH = FIRE HYDRANT  
IE = INVERT ELEVATION  
LF = LINEAL FEET  
SD = STORM DRAIN  
SDFM = STORM DRAIN FORCE MAIN  
SDMH = STORM DRAIN MANHOLE  
SS = SANITARY SEWER  
SSCO = SANITARY SIDE SEWER CLEANOUT  
SSS = SANITARY SIDE SEWER  
TOC = TOP OF CURB  
TOP = TOP OF PAVEMENT  
TYP = TYPICAL  
UGP = UNDERGROUND POWER  
W = WATER  
WM = WATERMAIN

SHEET LIST TABLE	
SHEET NO.	DESCRIPTION
C01	COVER SHEET
C02	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN
C03	DRAINAGE PLAN
C04	DETAILS

CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG  
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

NO.	DATE	BY	REVISION

**FACET**  
9706 4th Ave NE  
Suite 300  
Seattle, WA 98115  
P: 206.523.0024  
www.facetmw.com



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(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

**5331 FOREST AVE SE**  
MERCER ISLAND, WA 98040  
2501,0495.00

PERMIT PLAN

COVER SHEET

DATE: 3/28/2025

PLAN NUMBER:

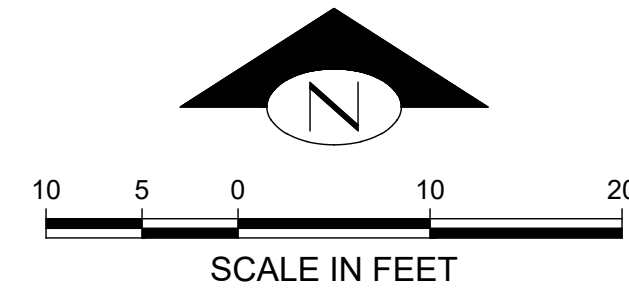
**C01**

SHEET 1 OF 4

FILE LOCATION: Z:\SHARED\PROJECTS\ACTIVEX\2025\03\2501\_0495\_00\5331 FOREST AVE SE MERCER ISLAND\DRAWINGS\CAD\REVIT\ACTIVEX\1\5331 FOREST AVE SE MERCER ISLAND\_CIVIL\_PLANS.DWG - ORIGINAL SHEET SIZE: ARCH FULL BLEED D (36.00 X 24.00 INCHES) - LAST MODIFIED BY: AUDREY HANSEN  
PRINCIPAL: TG PROJECT MANAGER: CW DESIGNED BY: AH DRAWN BY: LA CHECKED BY: CW

**POST CONSTRUCTION SOIL QUALITY AND DEPTH NOTES:**

1. A LAYER OF TOPSOIL WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
2. MULCH PLANTING BEDS WITH 2 INCHES OF ORGANIC MATERIAL USE COMPOST AND OTHER MATERIALS THAT MEET THE ORGANIC CONTENT OUTLINED IN BMP T5.13 OF THE DOE MANUAL.

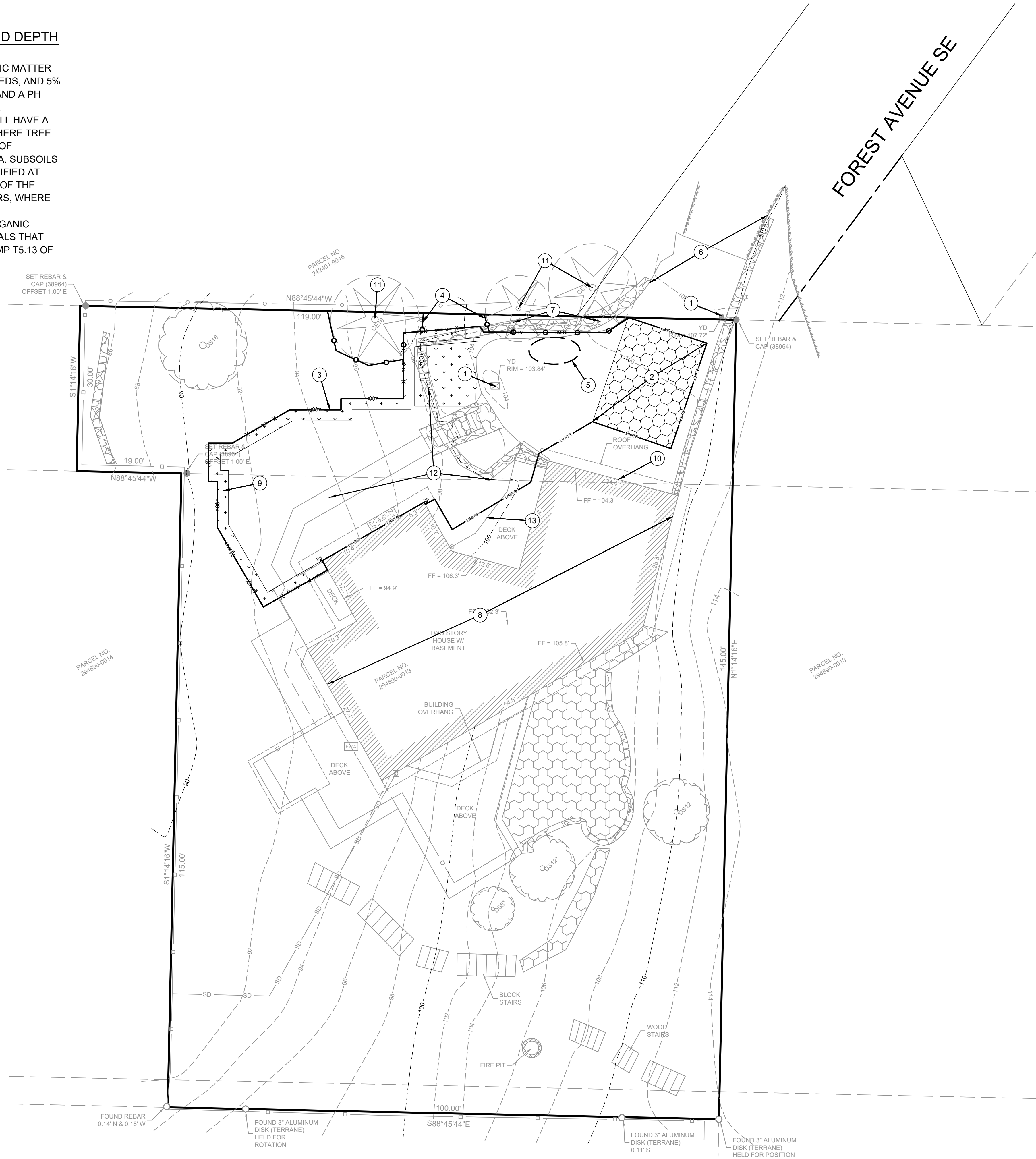


**LEGEND:**

- STABILIZED CONSTRUCTION ENTRANCE
- PERIMETER PROTECTION\*
- CLEARING LIMITS
- STOCKPILE LOCATION

\*INSTALL PERIMETER PROTECTION AS SILT FENCING IN ACCORDANCE WITH VOLUME 2 OF THE WASHINGTON STATE DEPARTMENT OF ECOLOGY'S 2016 STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON

KEY NOTES:		
KEY	NOTE:	DETAIL/SHEET
①	INSTALL TEMPORARY INLET PROTECTION ON EX SD INLET OR CLOSEST SD INLET DOWNSTREAM OF SITE	-
②	EX DRIVEWAY TO SERVE AS TEMPORARY CONSTRUCTION ENTRANCE	A/C04
③	INSTALL APPROX 165 LF PERIMETER PROTECTION*	B/C04
④	TREE PROTECTION FENCING (TYP)	-
⑤	PROPOSED STOCKPILE LOCATION. CONTRACTOR TO DETERMINE FINAL LOCATION IN FIELD	-
⑥	CONTRACTOR TO SWEEP STREET DAILY OR MORE OFTEN IF NECESSARY TO REMOVE TRACKED SEDIMENT	-
⑦	EX ROCKERY TO REMAIN AND BE PROTECTED	-
⑧	EX SINGLE FAMILY RESIDENCE TO REMAIN AND BE PROTECTED	-
⑨	SOIL AMENDMENT (TYP). SEE "POST-CONSTRUCTION SOIL QUALITY AND DEPTH NOTES" ON THIS SHEET	-
⑩	ENSURE ACCESS TO SFR REMAINS AVAILABLE	-
⑪	ALL EXISTING TREES TO REMAIN AND BE PROTECTED	-
⑫	REMOVE EXISTING WALKWAY AND ROCKERY	-
⑬	A PORTION OF EXISTING ROOF EAVE TO BE REMOVED. SEE ARCHITECTURAL PLANS FOR DETAILS	-



**TEMPORARY EROSION AND SEDIMENT CONTROL PLAN**

SCALE: 1" = 10'

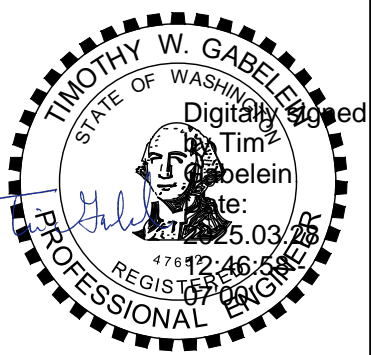
BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. FACET CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT FACET PRIOR TO CONSTRUCTION.

CALL 811  
2 BUSINESS DAYS  
BEFORE YOU DIG  
(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)

FILE LOCATION: Z:\SHARED\PROJECTS\ACTIVATION\2025\10\25\10488\_1411\_UN\_5311 FOREST AVE SE MERCER ISLAND\MINI\CAD\REV\ACT\ACT\104881411\_FOREST\_AVE\_SE\_MERCER\_ISLAND\_CIVIL\_PLANS.DWG - ORIGINAL SHEET SIZE: ARCH FULL BLEED 0 (8.50 X 24.00 INCHES) - LAST MODIFIED BY: AUDREY HANSEN  
PRINCIPAL: TG PROJECT MANAGER: CW DESIGNED BY: AH DRAWN BY: LA CHECKED BY: CW

NO.	DATE	BY	REVISION

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9706 4th Ave NE  
Suite 300  
Seattle, WA 98115  
P: 206.523.0024  
www.facetmw.com



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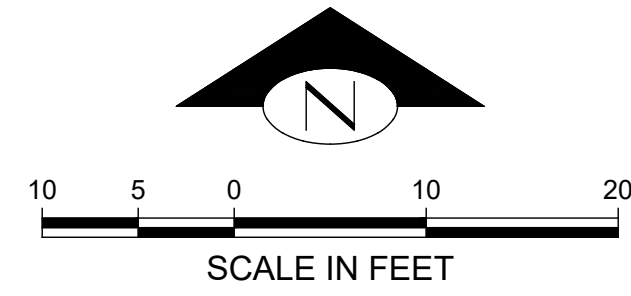
**5331 FOREST AVE SE**  
MERCER ISLAND, WA 98040  
2501,0495.00

PERMIT PLAN

TEMPORARY  
EROSION AND  
SEDIMENT CONTROL  
PLAN

DATE: 3/28/2025  
PLAN NUMBER:

**C02**  
SHEET 2 OF 4



KEY NOTES:		
KEY	NOTE:	DETAIL /SHEET
1	AT-GRADE HARD SURFACE TO BE DRIP-THROUGH DECKING THAT DRAINS OVER LANDSCAPE AMENDED SOIL (TYP)	-
2	ADU DS TO TIE INTO EXISTING GUTTER SYSTEM OF SFR (TYP)	-
3	EXISTING SFR DOWNSPOUTS COMBINE AND FLOW THROUGH EXISTING STORM LATERAL AND DISCHARGE TO THE WEST THROUGH ADJACENT PARCEL	-
4	EXISTING SFR STORM PIPING NOT SURVEYED, LOCATION ASSUMED PER SCOPING REPORT. LOCATION TO BE FIELD VERIFIED DURING CONSTRUCTION	-
5	STORMWATER TO DISCHARGE FROM SITE THROUGH EXISTING LATERAL, RUNNING THROUGH 5335 FOREST AVE SE. STORMWATER DISCHARGES THROUGH EXISTING PRIVATE STORM INFRASTRUCTURE TO LAKE WASHINGTON. EXISTENCE OF SIDE SEWER EASEMENT ON 5335 FOREST AVE SEE TBD	-
6	4" DOWNSPOUT (TYP)	-
7	GARDEN RETAINING WALL. SEE ARCHITECTURAL AND STRUCTURAL PLANS	-
8	ROOF OVERHANG (TYP)	-
9	EXISTING DRIVEWAY YARD DRAINS FOUND TO TIE INTO OTHER EXISTING STORMWATER INFRASTRUCTURE AND DRAIN TO STORMWATER POINT OF DISCHARGE	-
10	TIE FOOTING DRAINS INTO EXISTING SFR FOOTING SYSTEM. IF NO FOOTING SYSTEM ENCOUNTERED IN THE FIELD, CONTACT ENGINEER AND TIGHTLINE FOOTING DRAINS TO STORM VAULT ON WEST SIDE OF SFR	-
11	ADU SEWER TO TIE INTERNALLY INTO EXISTING SFR SEWER INFRASTRUCTURE	-
12	ADU WATER SERVICE TO TIE INTERNALLY INTO EXISTING SFR WATER SERVICE	-

**LEGEND:**

	DRIP-THROUGH DECKING OVER LANDSCAPE
	LANDSCAPE

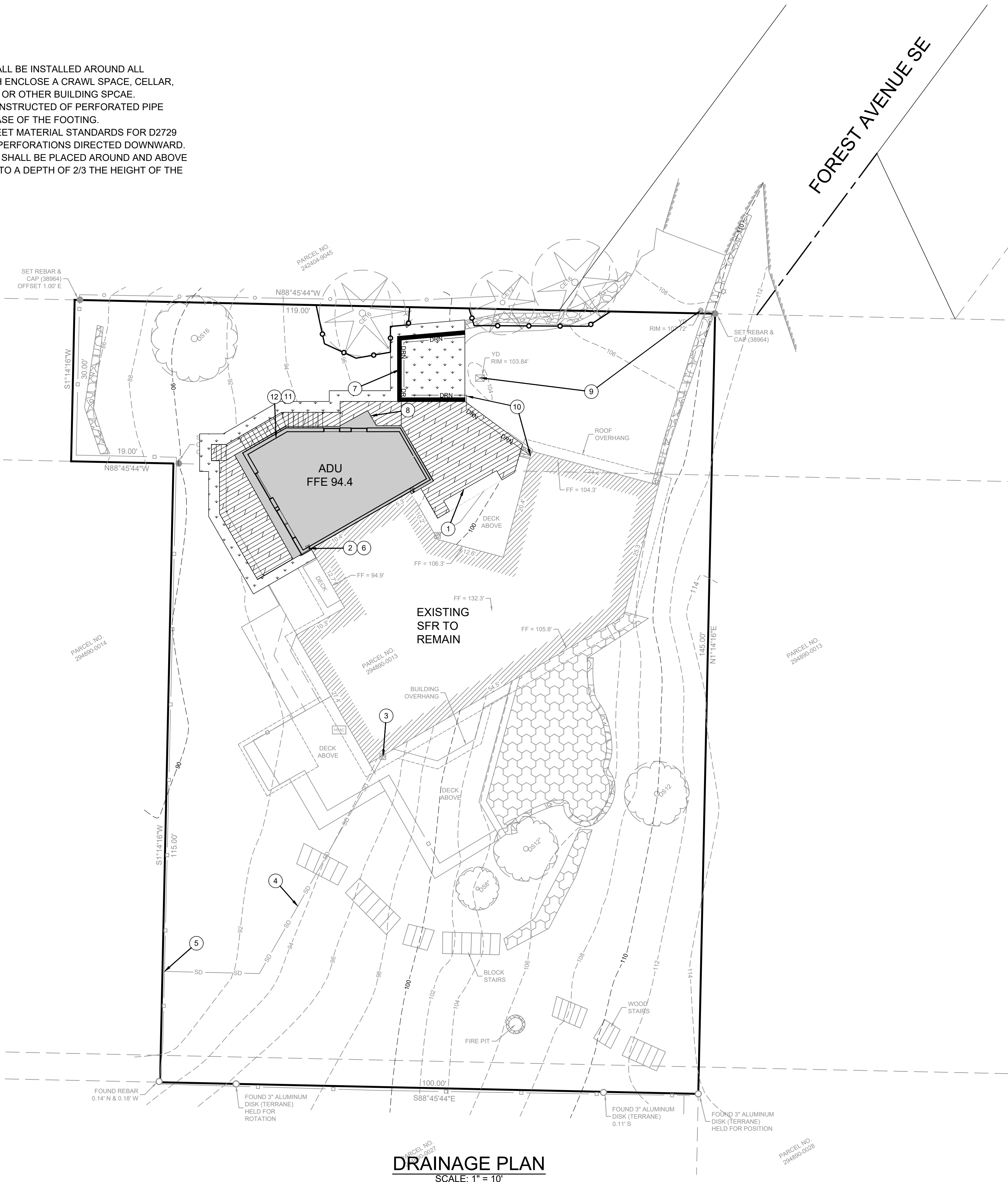
**AREA SUMMARY:**

NEW IMPERVIOUS SURFACE (ADU ROOF) = 558 SF

EX IMPERVIOUS SURFACE TO BE REMOVED = 59 SF

**NET INCREASE IN IMPERVIOUS SURFACE = 499 SF**

- FOOTING DRAINS:**
- FOOTING DRAINS SHALL BE INSTALLED AROUND ALL FOUNDATIONS WHICH ENCLOSE A CRAWL SPACE, CELLAR, BASEMENT, GARAGE, OR OTHER BUILDING SPACE.
  - DRAINS SHALL BE CONSTRUCTED OF PERFORATED PIPE INSTALLED AT THE BASE OF THE FOOTING.
  - DRAIN PIPE SHALL MEET MATERIAL STANDARDS FOR D2729 FOR PVC PIPE, WITH PERFORATIONS DIRECTED DOWNWARD.
  - GRANULAR BACKFILL SHALL BE PLACED AROUND AND ABOVE THE FOOTING DRAIN TO A DEPTH OF 2/3 THE HEIGHT OF THE WALL.



**DRAINAGE PLAN**  
SCALE: 1" = 10'

FILE LOCATION: Z:\SHARED\PROJECTS\ACTIVEX\2025\125014488\_LAY\_LIN\_5311 FOREST AVE SE MERCER ISLAND\DRAWINGS\CAD\REV\ACTIVEX\125014488\_01.DWG - ORIGINAL SHEET SIZE: ARCH FULL BLEED 0.8610 X 24.00 INCHES - LAST MODIFIED BY: AUDREY HANSEN  
PRINCIPAL: TG PROJECT MANAGER: CW DESIGNED BY: AH DRAWN BY: LA CHECKED BY: CW

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NO.	DATE	BY	REVISION	BASE MAP/TOPOGRAPHY PROVIDED BY OTHERS. FACET CANNOT BE HELD LIABLE FOR ACCURACY. CONTRACTOR SHALL FIELD VERIFY GRADES, UTILITIES, AND ALL OTHER EXISTING FEATURES AND CONDITIONS. IF CONDITIONS ARE NOT AS SHOWN AND/OR PLANS CANNOT BE CONSTRUCTED AS SHOWN, CONTACT FACET PRIOR TO CONSTRUCTION.
				9706 4th Ave NE Suite 300 Seattle, WA 98115 www.facetm.com
<b>CALL 811 2 BUSINESS DAYS BEFORE YOU DIG</b> <small>(UNDERGROUND UTILITY LOCATIONS ARE APPROX.)</small>				
<b>5331 FOREST AVE SE</b> MERCER ISLAND, WA 98040 2501,0495.00				
<b>PERMIT PLAN</b>				
<b>DRAINAGE PLAN</b>				
DATE: 3/28/2025				
PLAN NUMBER:				
<span style="font-size: 24px; font-weight: bold;">C03</span>				
SHEET 3 OF 4				

